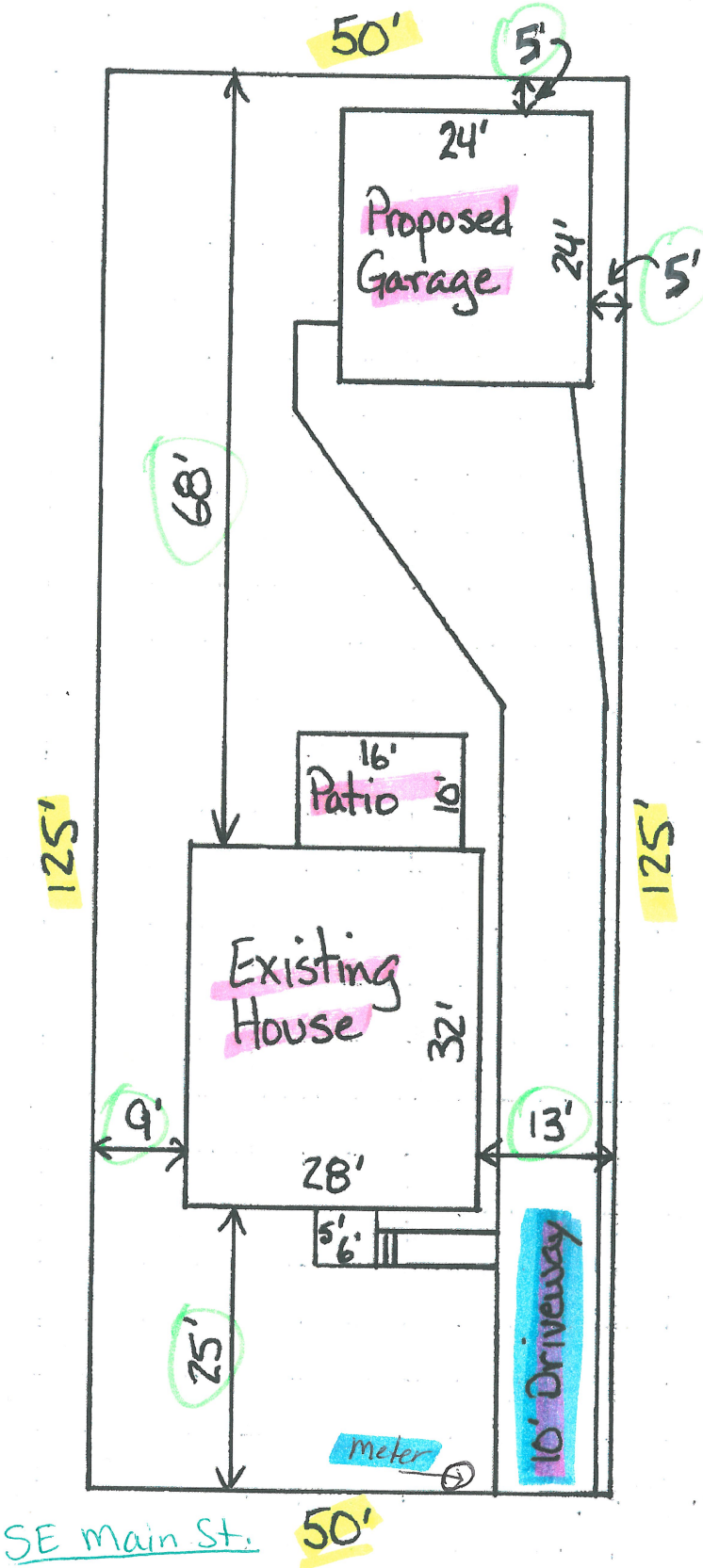


PLOT PLAN EXAMPLE



Proposed Structure is; Garage
 Proposed New Square Footage; 576 (24x24)
 Proposed Height; 10'

Lot is located within Scappoose Zone; R-4

~ ENSURE the setbacks, height restrictions and lot coverage area is met per the zoning restrictions.

If you do NOT know the zone, then;

o View zoning map on City website;

<http://www.ci.scappoose.or.us/planning/page/city-maps>

o Once you know the Zone, go to the City's Land Use & Development Code (link below, then to the blue menu bar) for details/restrictions of that zone;

<http://www.ci.scappoose.or.us/planning>

Total Lot Area (from Assessor data); 6,250 sq. ft.

~ To acquire exact lot dimensions from Columbia County Assessor go to their Property Records online;

<http://www.co.columbia.or.us/departments/assessors-office-main>

Calculate the Total Lot Coverage areas;

House Dimensions; 28' x 32' = 896 sq. ft.

Entry Dimensions; 5' x 6' = 30 sq. ft.

Patio Dimensions; 16' x 10' = 160 sq. ft.

Garage Dimensions; 24' x 24' = 576 sq. ft.

Accessory Dimensions; — x — = — sq. ft.

A. TOTAL SQUARE FOOTAGE OF ABOVE: 1162 sq. ft.

B. TOTAL LOT AREA FROM ASSESSOR: 6,250 sq. ft.

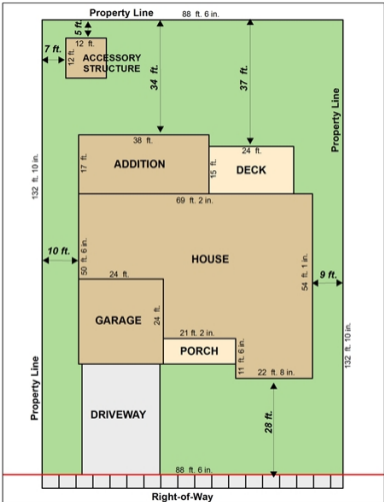
Divide A by B for PERCENTAGE OF LOT COVERAGE; 27%

Submit your plot plan, with your construction documents, be sure to list all dimensions/locations of the following;

- o Show all property line dimensions from Assessor's map
- o Show front, rear & side setbacks of all existing & proposed structures, from actual property line not estimated.
- o Label all existing/new buildings and/or easements
- o Show driveways/sidewalks and utilities

Note: All NEW HOME construction requires a planting plan for new street trees per SMC 13.28.020

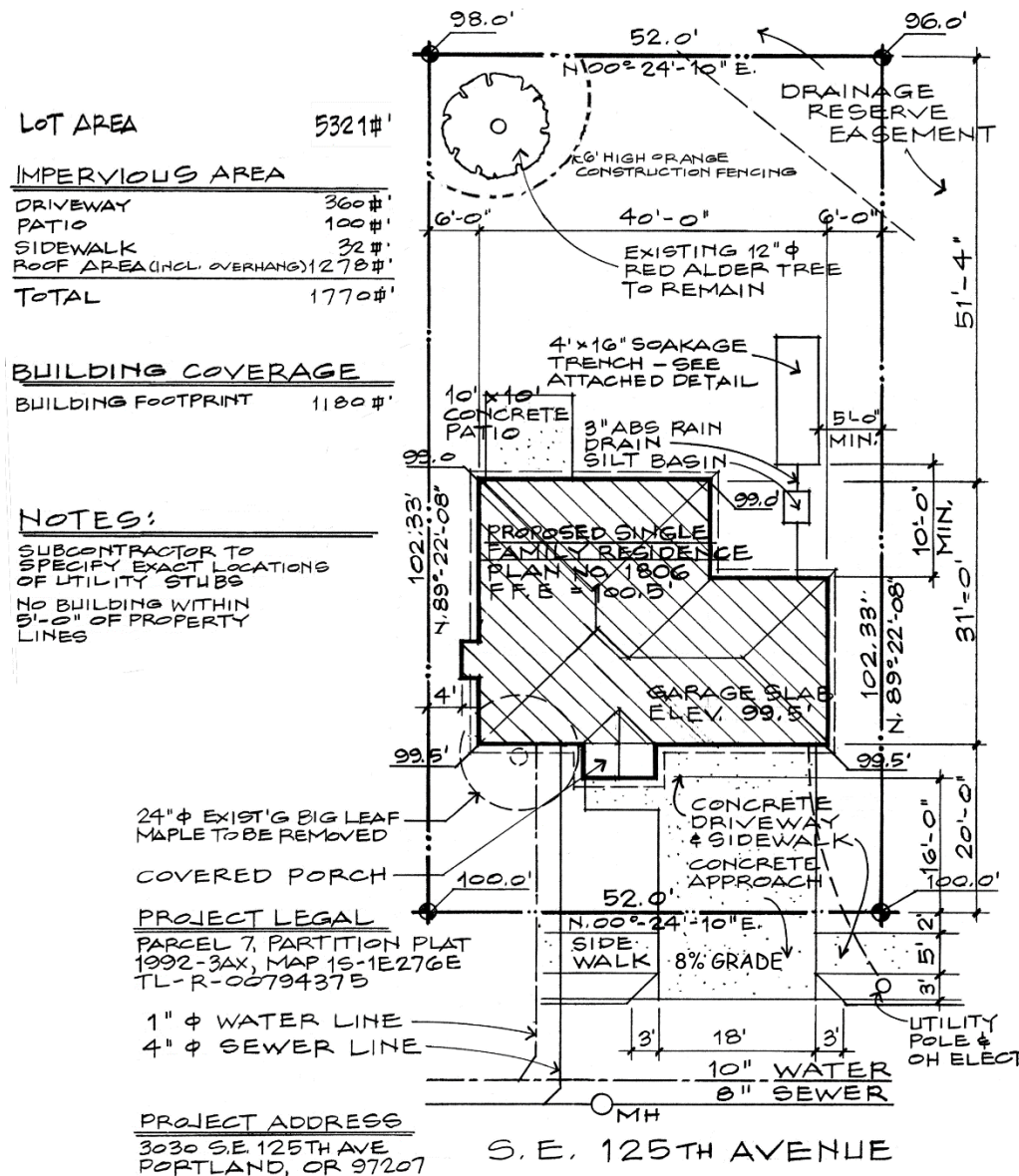
Additional sensitive lands permits could be required for floodplains & wetlands or slopes greater than 15%; see "city map" link above to view Local Wetlands & Riparian Inventory Maps.



Site/Plot plan must be accurately drawn to scale;

- Minimum scale is 1 inch = 10 feet, minimum 11"x17" paper
- North Arrow upper right corner
- Lot Area and Building Coverage Area (not to exceed req. %)
- Impervious areas (structures, paving, roof overhangs, etc.)
- Legal dimensions and building setback dimensions
- Property corner elevations (if there is more than a 4-foot elevation differential, the site plan must also show existing and proposed contour lines at 2-foot intervals. A separate Grading Plan may be required to legibly show grading changes w/ cut/fill areas.)
- Footprint of proposed & existing structures (incl. patio/deck)
- Dimension & distances between structures and property
- Location & dimension of easements
- Location of existing wells and/or septic systems
- Location of all utilities and connections; storm sewer, sanitary sewer, water, gas, etc., including size of service and street location
- Any sensitive lands; floodplain, wetlands, and slopes >15%
- Location of stormwater facility
- Surface drainage
- Width of adjacent right of way, street name and curb height
- Location & dimension of driveway, grade max. 14% per PWDS
- Street Name, Subdivision Name w/ lot #, and address if known
- Residential address must be posted before final; min. 4" high, ½" stroke with contrasting numbers visible from street
- Landscape to including approved street tree requirement
- Helpful info; company name and contact phone number
- Allow sufficient white space for City approval stamps & notes
- Any additional requirements specific to your site or project (if required, or additional requirements approved/agreed during the developments approval process.

Lot area



Sample Site Plan

A well-prepared Site Plan is one of the **MOST IMPORTANT** documents in your building permit submittal materials.

ALL major review groups need to approve your site plan.

Site Plans must be clearly legible and reproducible. A complete and accurate Site Plan will help to speed your permit application reviews and reduce the need to send you notice for missing information or charge you additional review fees for missing data.

This sample drawing has been designed to help you prepare a complete Site Plan for your project. Make sure your Site Plan includes all the information on the Site Plan Checklist.

The sample site plan to the left is provided as a reference tool showing how and what must be included in your site plan.

This sample site plan is not to scale, nor is it the on the minimum paper size.

Site plans submitted to other departments for their application/review will not be used in lieu of missing site plans. A site plan must be submitted with construction documents for Building Dept. review approval.