

CHANGE OF OCCUPANCY – CHANGE OF USE

Both **Change of Occupancy Classification** and **Change of Use** require a BUILDING PERMIT per the Oregon Structural Specialty Code (the statewide code).

Please note that these "changes" to Occupancy and/or Use may NOT necessarily involve a physical change to the building. The different Classifications for Occupancy and/or Use represent varying levels of hazard and risk to building occupants which require a permit for Code Compliance Review.

1. CHANGE OF OCCUPANCY CLASSIFICATION;

This is a change in the primary purpose of a structure or portion of a structure. This document will list the different Occupancy Classifications per the Oregon Structural Specialty Code (OSSC) 1-10. NOTE: Any changes between the OSSC Occupancy Classifications list, is a 'Change of Occupancy'. See examples below; A house would have an 'Occupancy Classification' code "**R**" for Residential (#8- Residential on OSSC list), with a subordinate 'Use' of "**R3**" (occupants are primary and not a group/care home, see code link for full details)

* If adding a Commercial Business Office to a portion of an existing Residential house. The Classification for the mixed occupancy would be; "**R3/B**". The current/existing classification is "**R3**" (#8-Residential) and the added Commercial Office is "**B**" (#2-Business).
* If converting a business office "**B**" (#2- Business) to a retail shop, the new Occupancy is now "**M**" (#7-mercantile).

2. CHANGE OF USE; This is a change in the purpose or level of activity within an Occupancy Group which involves changes within the current codes. Example, any changes within the Occupancy "A" (Assembly Group) from Use "A1" (theater) to Use "A2" (restaurant) is a Change of Use.

NOTE: When either changes occur to the Occupancy and/or the Use, they require a permit for code compliance review which could trigger additional building and/or site improvements. Aspects of the building that would have been 'grandfathered' under the original permitted Occupancy or Use need to be reviewed under the current building code for the new Occupancy or the new Use.

Examples of possible required changes to the building are listed below (*sometimes no change is needed to the building based on the current OSSC and the ICC Accessibility Code*);

** Fire-separation between uses would require adding several layers of gypsum board to existing walls and/or ceilings to resist the spread of fire.

** Accessibility; which could mean installing wheelchair ramp(s) and/or railings. And/or accessible parking, accessible entrances, routes, countertops, restrooms, etc. (see OSSC for detailed requirements)

Additional permits could be required for any improvements/changes to plumbing, mechanical, electrical, fire sprinklers and/or new commercial signs.

OSSC OCCUPANCY CLASSIFICATIONS

For full details of each Occupancy Classification, open link to current State of Oregon Structural Specialty Code (OSSC);

<https://codes.iccsafe.org/content/OSSC2019P1?examId=>

The Occupancy Classifications is a formal designation of the primary purpose of a building/structure or portion of it. Buildings/structures can have more than one Occupancy Classifications (see previous example of "R3/B"). All Occupancy Classifications are listed by Groups in the current Oregon Structural Specialty Code (OSSC) and for your convenience, listed below as they appear in the current OSSC code 1-10, along with their Uses. Several Occupancy Groups contain multiple subordinate USES, see list below.

1. Assembly = A (Uses: A1, A2 A3, or A5)
2. Business = B
3. Education = E
4. Factory/Industrial = F (Uses: F1 or F2)
5. High Hazard = H (Uses: H1, H2, H3, H4 or H5)
6. Institutional = I (Uses: I1, I2, I3 or I4)
7. Mercantile = M
8. Residential = R (Uses: R1, R2, R3 or R4)
9. Storage = S (Uses: S1, S2 or S3)
10. Utility or Miscellaneous = U

SCAPPOOSE ZONING (Land Use/Planning Dept.)

This is property specific within the city limits or properties within the UGB.

The city's Land Use zoning code will list the permitted/conditional uses allowed in each zone. For example, a "hotel" is a permitted use in the "C" Commercial zone, and not listed/permitted in the "R-4" Residential zone. To ensure the change of occupancy or change of use is a permitted use in the zoning, open link below to view the City's zoning map then find the property and color coded zone;

<https://www.scappoose.gov/planning/page/city-maps>

Once you know the zone, open link below to the Municipal Code, then go to Chapter 17-Land Use Code to find each zone (R1, R4, EC, C, LI). The zoning chapters will list the permitted/conditional uses;

<https://scappoose.municipal.codes/Code>

NOTE; Changes to the Occupancy or the Use, for purposes of the Land Use zoning code, may require

additional parking stalls, bike racks, landscaping and/or fencing on the site. The additional Chapters items listed below can be found within the Ch. 17 Land Use Codes (previous link);

- Ch. 17.100 Landscaping Screening and Fencing
- Ch. 17.106 Off-street Parking & Loading Requirements.
- Ch. 17.114 Signs

BUILDING DEPT. PERMITS:

A permit from the Building Department is a requirement for Change of Occupancy and Change of Use even if no alterations/changes to the building or site are proposed.

To apply for the permit, the property owner (or their contractor) must provide the city with the following;

- 2 sets of plans; (see examples provided)

Plans will generally include a site plan, a plan of each floor with doors & windows, a cross section, often stair details, railing and accessibility routes including counter heights. Plans should show how the proposed use and layout of each room including bathrooms, meet current code requirements. If there are areas that need to be improved to meet current code, the drawings should include construction details showing how these will be modified.

Depending on the changes or the scope of work, the Building Official could also require that you hire a professional to perform a Code Analysis/Code Summary to be submitted to the City with the plans.

ICC ACCESSIBLE CODES

For more info on the ICC Accessible Code, see link below. Items to note;

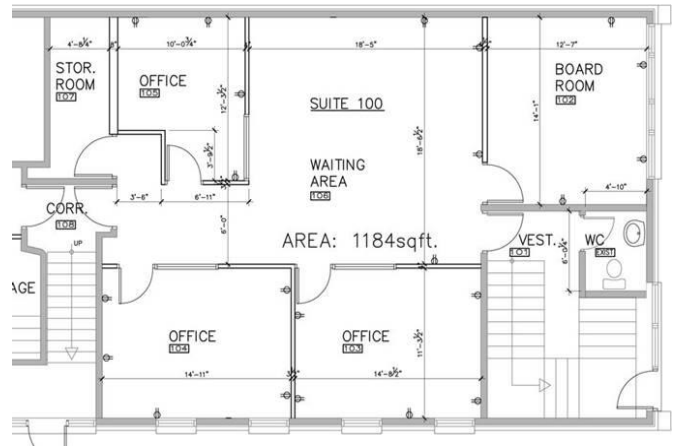
- bathroom grab bars, Ch. 6
- cabinet heights, Ch. 9

<https://codes.iccsafe.org/public/document/code/559/9895047>

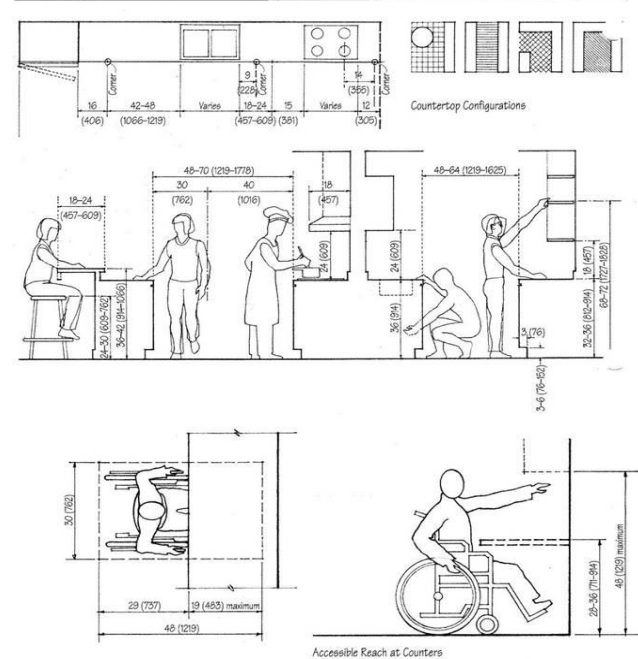
Feel free to contact the Building Dept. for additional information.

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Plan examples;



FUNCTIONAL DIMENSIONS



Example of Code Summary on plans;

