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MACKENZIE



Project  
COLUMBIA WEST  
PURRRZ AND PAWS

33446 HAVLIK DR,  
SCAPPOOSE, OR 97056



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REVISION SCHEDULE		
Delta	Issued As	Issue Date
1	PLAN CHECK	06/05/2024

SHEET TITLE:

PROJECT  
INFORMATION,  
VICINITY MAP, AND  
NOTES

SHEET:

G0.01

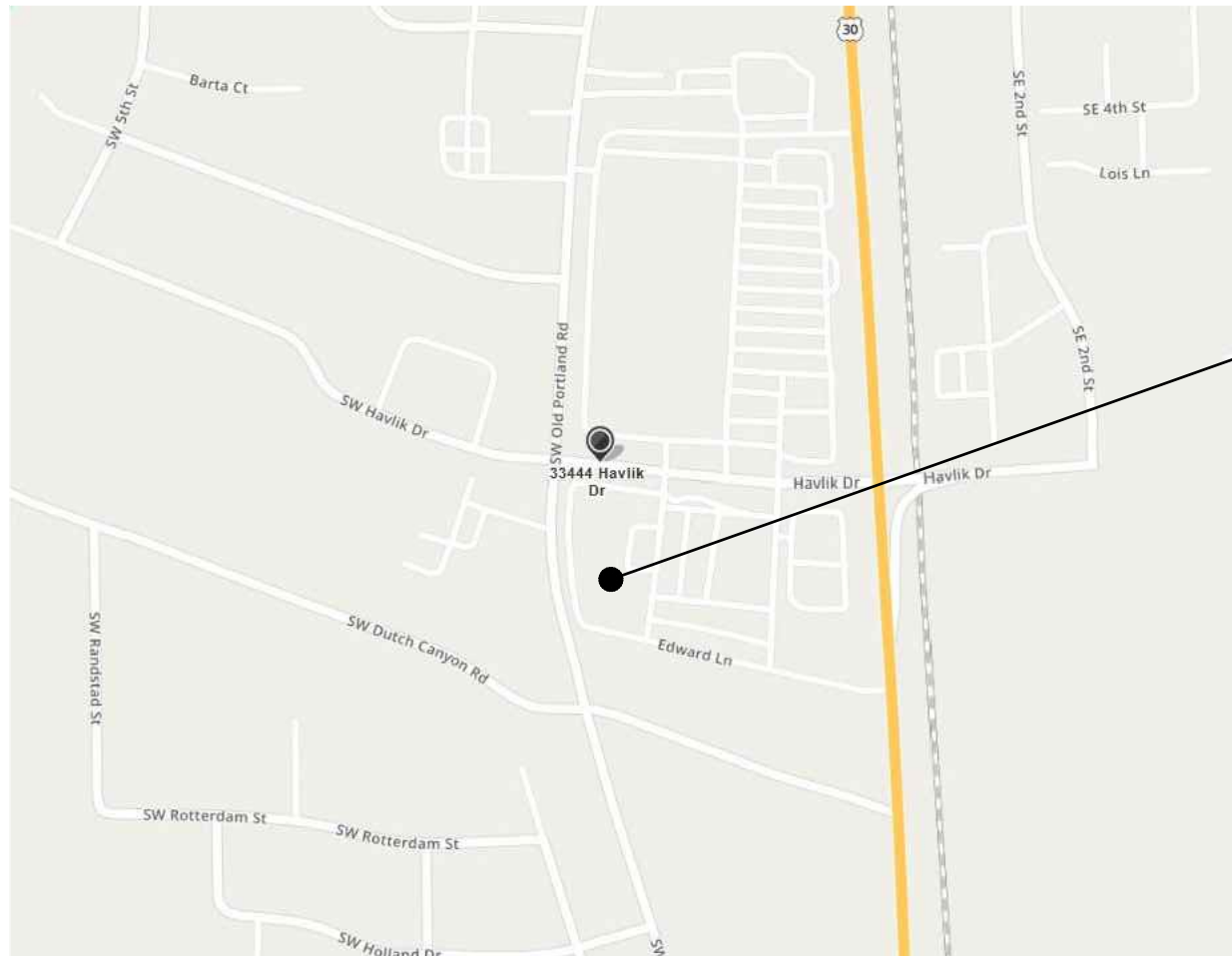
JOB NO.  
2090691.07

# PURRRZ AND PAWS

## TENANT IMPROVEMENT

### 33446 HAVLIK DRIVE

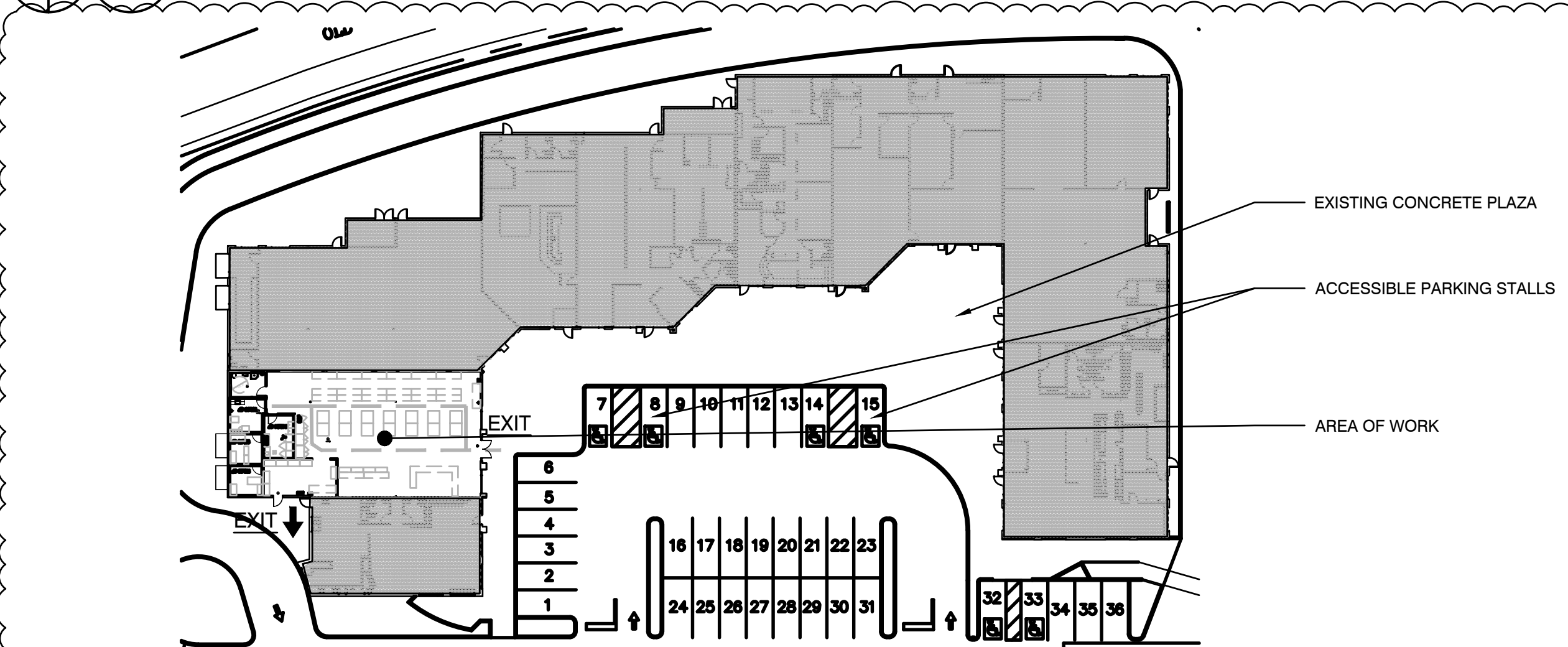
### SCAPPOOSE, OREGON



SITE

## 1 VICINITY MAP

G0.01 NOT TO SCALE



## 2 AREA OF WORK

G0.01 NTS

## PROJECT GENERAL NOTES

- THE DRAWINGS LOCATE PRODUCTS, SURFACES, AND MATERIALS AND THE NOTES CONVEY DESIGN INTENT. THE PROJECT INTENT IS TO PROVIDE FOR A COMPLETE, WORKING SYSTEM.
- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LATEST ADOPTED BUILDING CODE EDITION, AND TO CONDITIONS AND SPECIFICATIONS OF ALL GOVERNING AUTHORITIES.
- VERIFY AND CONFIRM ALL CONDITIONS, DIMENSIONS, AND LAYOUT INFORMATION PRIOR TO START OF CONSTRUCTION. NOTIFY MACKENZIE OF ANY DISCREPANCIES PRIOR TO START OF WORK. ANY CORRECTION WORK REQUIRED AS A RESULT OF NOT REPORTING SUCH DISCREPANCIES SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE SITE AND THE CONSTRUCTION DOCUMENTS OF THE ENTIRE WORK. INCONSISTENCIES IN THE PLANS OR SPECIFICATIONS SHALL BE CALLED TO THE ATTENTION OF MACKENZIE.
- REFER TO ENLARGED PLANS AND ELEVATIONS WHERE INDICATED FOR ADDITIONAL INFORMATION. ENLARGED PLANS TAKE PRECEDENCE OVER PLANS OF SMALLER SCALE, AND DETAILS TAKE PRECEDENCE OVER PLANS. IN THE CASE OF A CONFLICT, THE HIGHEST COST OPTION SHOULD BE PRICED.
- DETAIL REFERENCES SHALL BE APPLIED TO ALL INSTANCES WHERE THE SAME CONDITIONS OCCUR, UNLESS NOTED OTHERWISE.
- THE TERMS "ABOVE FINISH FLOOR" (AFF) AND "FINISH FLOOR ELEVATION" (FFE) REFER TO FINAL FINISHED FLOOR ELEVATION, WHETHER BUILT-UP SLAB, COMPOSITE DECK, OR RAISED ACCESS FLOOR.
- DO NOT SCALE DRAWINGS.
- CUTTING AND DRILLING OF STRUCTURAL MEMBERS NOT DETAILED REQUIRES THE WRITTEN PERMISSION OF THE STRUCTURAL ENGINEER OF RECORD.
- SAVE AND RECYCLE DEMOLITION DEBRIS AS APPLICABLE. ALL DEMOLISHED OR REMOVED EXISTING MATERIAL SHALL BE LEGALLY DISPOSED. COORDINATE WITH CITY OF SCAPPOOSE REQUIREMENTS FOR RECYCLING/RE-USE OF DEMOLITION DEBRIS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THEIR WORK. THE CONTRACTOR WILL COORDINATE CLEAN UP OF ALL AREAS AFFECTED BY DUST OR ANY MATERIALS, BOTH DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT, INCLUDING THE INSIDE OF ALL WINDOWS AS NECESSARY SO THAT THE SPACE IS READY FOR OCCUPANCY BY TENANT.
- ALL DESIGN-BUILD ITEMS, SYSTEMS, AND ELEMENTS ARE TO BE SUBMITTED FOR REVIEW AND APPROVED BY MACKENZIE.
- EXISTING MATERIAL NOTED TO BE RETURNED TO THE OWNER SHALL BE SAFELY STORED AND PROTECTED UNTIL IT IS REMOVED FROM THE SITE BY THE OWNER. CONTRACTOR SHALL COORDINATE WITH THE OWNER.

## AREA PLAN LEGEND

REFER TO G1.10 FOR FULL CODE SUMMARY



NOT IN SCOPE

EXIT

REQUIRED EXIT

EXIT

EXIT ACCESS



ILLUMINATED EXIT SIGN



FIRE EXTINGUISHER LOCATION

PORTABLE FIRE EXTINGUISHERS (CLASS A HAZARD) SHALL BE PROVIDED AS SHOWN AND PER 2022 OREGON FIRE CODE TABLE 906.3(1). MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER SHALL BE 75'. IN ADDITION, FINAL PORTABLE FIRE EXTINGUISHER LOCATIONS SHALL BE APPROVED BY ANU IN ACCORDANCE WITH APPLICABLE CODES, PRIOR TO INSTALLATION.



ACCESSIBLE MEANS OF EGRESS



PROVIDE MINIMUM 1 FOOT CANDLE EGRESS LIGHTING ACROSS WIDTH



TENANT PROVIDED FURNITURE

## INDEX OF DRAWINGS

GENERAL

G0.01

G1.10

PROJECT INFORMATION, VICINITY MAP, AND NOTES  
CODE SUMMARY PLAN

ARCHITECTURAL

A0.01

A1.10

A4.10

A5.20

ADA CLEARANCES, MOUNTING HEIGHTS, ARCHITECTURAL LEGEND, ABBREVIATIONS AND NOTES  
DEMOLITION, FLOOR, REFLECTED CEILING PLANS, LEGEND AND NOTES  
INTERIOR ELEVATIONS, FINISH SCHEDULE AND NOTES  
INTERIOR DETAILS AND SCHEDULES

## SCOPE OF WORK

THE SCOPE OF WORK FOR THE PROJECT INCLUDES INTERIOR TENANT IMPROVEMENTS OF APPROXIMATELY 3,500 SQUARE FEET. WORK TO INCLUDE DEMOLITION OF ENTRY STOREFRONT, NEW RESTROOM, WALLS, DOORS, CASEWORK AND FINISHES.

## SYMBOLS AND REFERENCES

NORTH ARROW



PROJECT NORTH

TRUE NORTH

FILLED ARROW

DETAIL #

SHEET #

SUB-CATEGORY

CATEGORY

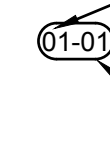
DIVISION #

NOTE #

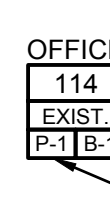
INTERIOR ELEVATION  
KEY MARK



KEYNOTE



ROOM/SPACE IDENTIFICATION



SPACE NAME

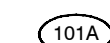
SPACE #

FLOOR FINISH

WALL BASE FINISH

WALL FINISH

DOOR SYMBOL NUMBER



REVISION MARK



REVISION #

REVISION CLOUD



## SEPARATE PERMIT

2022 OSSC SECTION 107.3.4.1

(BY SEPARATE PERMIT)

MECHANICAL  
ELECTRICAL  
PLUMBING  
EXIT ILLUMINATION

NOTE: DESIGN BUILDERS ARE FULLY RESPONSIBLE FOR THE DESIGN OF THESE SYSTEMS/COMPONENTS. THESE SYSTEMS/COMPONENTS SHOWN ON DOCUMENTS ARE SCHEMATIC ONLY. THEY ARE NOT INTENDED TO REPRESENT FINAL/CODE COMPLIANT DESIGN. PROVIDE DESIGN DOCUMENT SUBMITTAL TO ARCHITECT OF RECORD FOR REVIEW PRIOR TO SUBMITTAL.

## CONTACTS

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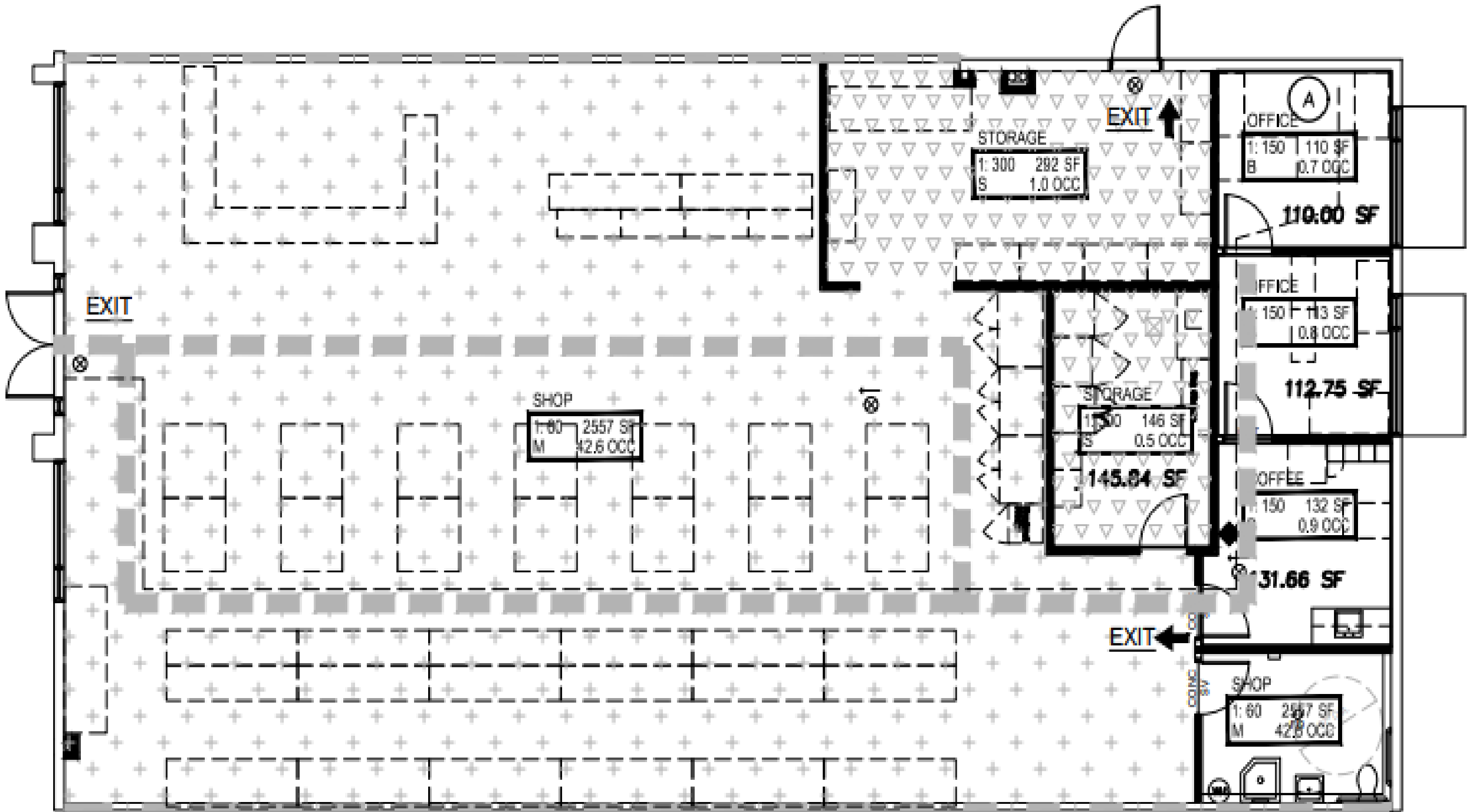
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PERMIT SET: 04/11/2024

# CODE SUMMARY PLAN



## CODE SUMMARY LEGEND

EXIT

EXIT ACCESS

ILLUMINATED EXIT SIGN

FIRE EXTINGUISHER LOCATION

PORTABLE FIRE EXTINGUISHERS (CLASS A HAZARD) SHALL BE PROVIDED AS SHOWN AND PER 2022 OREGON FIRE CODE TABLE 906.3(1). MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER SHALL BE 75'. IN ADDITION, FINAL PORTABLE FIRE EXTINGUISHER LOCATIONS SHALL BE APPROVED BY ANU IN ACCORDANCE WITH APPLICABLE CODES, PRIOR TO INSTALLATION.

ACCESSIBLE MEANS OF EGRESS

PROVIDE MINIMUM 1 FOOT CANDLE EGRESS LIGHTING ACROSS WIDTH

TRAVEL DISTANCE 200'-0" MAX. (TABLE 1017.2)

119'-6"

SPACE NAME

SQUARE FOOTAGE

NUMBER OF OCCUPANTS

LOAD FACTOR

OCCUPANCY TYPE

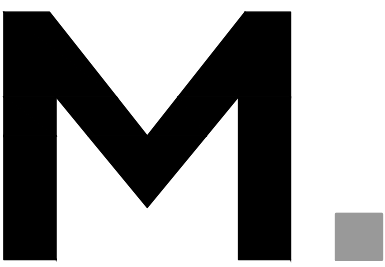
TENANT PROVIDED FURNITURE

## DESIGN/CODE DATA

GOVERNING CODE:	2022 OSSC
OCCUPANCY:	M
CONSTRUCTION TYPE:	1-B
TENANT AREA:	APPROXIMATELY 3,500 SF
OCCUPANCY LOAD:	SEE OCCUPANCY CALCULATION TABLE BELOW
EXITS REQUIRED:	1
EXITS PROVIDED:	2
EXITS:	ALL EXITS ARE EXISTING AND HAVE APPROPRIATE EXIT SIGNAGE
FIRE PROTECTION:	BUILDING IS FULLY SPRINKLED AND HAS NFPA SMOKE DETECTION WITH ON SITE EMERGENCY GENERATOR FOR FIRE, LIFE/SAFETY BACKUP POWER

## OCCUPANCY CALCULATIONS

OCCUPANCY GROUP AND LOAD FACTOR	LOAD FACTOR	FLOOR AREA	OCCUPANT LOAD
MERCANTILE	1:60	2,557 SF	43
BUSINESS USE SPACES	1:150	253 SF	2
STORAGE/ MECHANICAL EQUIPMENT USE SPACES	1:300	438 SF	2
TOTAL OCCUPANCY			47 OCCUPANTS



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