



SCAPPOOSE
Oregon

MONDAY, OCTOBER 3, 2022
URBAN RENEWAL AGENCY MEETING, 6:00 pm
Scappoose Council Chambers
33568 E Columbia Avenue
Scappoose, Oregon 97056

ITEM AGENDA TOPIC

Action

Call to Order

Roll Call

Approval of the Agenda

Public Comment

Approve Minutes ~ May 16, 2022 and June 20, 2022

Approval

New Business

Review Applications

City Manager Alexandra Rains

Approval

Adjournment

This meeting will be conducted in a handicap accessible room. If special accommodations are needed, please contact City Recorder, Susan Reeves at (503) 543-7146, ext. 224 in advance.

TTY 1-503-378-5938



SCAPPOOSE *Oregon*

MONDAY, MAY 16, 2022
URBAN RENEWAL AGENCY MEETING 6:00 pm
Council Chambers
33568 East Columbia Avenue
Scappoose, OR 97056

Call to Order

Chair Burge called the meeting to order at 6:00 pm.

Roll Call

Chair Scott Burge; Agency Member Megan Greisen; Agency Member Josh Poling; Agency Member Pete McHugh; Agency Member Tyler Miller; City Manager Alexandra Rains; Assistant to the City Manager Isaac Butman; City Recorder Susan Reeves; and Legal Counsel Peter Watts.

Remote: Agency Member Brandon Lesowske (joined at 6:06pm) and Consultant Scott Vanden Bos.

Excused: Agency Member Jeannet Santiago

Approval of the Agenda

Megan Greisen moved, and Josh Poling seconded the motion to approve the agenda. Motion passed 5-0. Scott Burge, aye; Megan Greisen, aye; Josh Poling, aye; Pete McHugh, aye; and Tyler Miller, aye.

Public Comment

There was no public comment.

Approval of Minutes

- **May 2, 2022**

Josh Poling moved, and Tyler Miller seconded the motion to approve the May 2, 2022 Urban Renewal Meeting minutes. Motion passed 5-0. Scott Burge, aye; Megan Greisen, aye; Josh Poling, aye; Pete McHugh, aye; and Tyler Miller, aye.

District Improvement Grant Programs

- **New Development**
- **Storefront**

Consultant Scott Vanden Bos explained the last meeting we had, Elaine attended for him, there were some requested changes to the document, which they have made. He explained the max grant was changed so that the wording says either the annual budget allocation or \$50,000 whichever is less. He explained it was requested that design services would be removed from the allowable activities for applicants. He explained they tightened up some of the application language just to make it flow a little more smoothly and be more clear and concise. They firmed up that it is a two-year time frame with the ability to request an extension which said extension is dependent upon the Urban Renewal Agency's approval. He explained if the extension is not granted the Urban Renewal Agency will reimburse costs up to the date of the two years, but nothing afterwards. He explained the other thing is on this, is programs don't have to be adopted by the Urban Renewal Agency and as such if something needs to be changed it is something that you can do within the Agency now that you have this document.

Brian Rosenthal, Scappoose, explained he was thinking about the discussion last time you had an Urban Renewal Agency meeting and he was thinking how can you get the biggest bang for your buck while simultaneously making it simple. He came up with the following idea, when you build anything new commercial you pay system development charges (sdc's) and they are not for your property, it is the impacts to the whole community. He explained in addition you will pay for improvements on your property frontage on the road meaning you are kind of double paying in a way, not exactly because it is not for the impact on your property it is the impact in the surrounding area but from a position of a developer he is kind of a little offended. He explained he's thinking he is paying sdc's then he is told he has to repave the road, put a new curb and gutter in, he has to put in a new sidewalk, put lights in, maybe a fire hydrant, etc. He explained he thought how can you make it simply for this program and get bang for your buck. He came up with a simple idea of using these resources for new construction for improvements in the right-a-way. He stated storm water is another one that is a nuisance. He stated what you could do is say we have a grant program where you could apply for grant money to help pay for that. He stated although on one level it doesn't sound like it matters where the money goes to when you are giving somebody money, he guarantees that if you give them money for the building they are still going to be offended about the right-a-way money they are having to spend because they are not going to say oh well, I am getting it here but I have to spend it there. He stated if you would give it as a direct offset for those improvements that would make them happier. He explained it is a way to make people feel better about the process and how it is going to go.

Consultant Scott Vanden Bos explained he does know that the idea of what Brian has said is something that in other cities they have a sdc waiver program or sdc grant program and one of the only incentives that they give for something like this is that they will basically take on the cost of the sdc's and do the improvements for the developer. He stated that makes sense that you would bring that up and it make sense that it could be something that would be a very good allowable activity.

Legal Counsel Peter Watts pointed out that the Agency, under the current documents don't have the ability to waive sdc's.

Brian Rosenthal replied he is not suggesting waiving sdc's.

Consultant Scott Vanden Bos explained he thinks most of those activities fall under site development projects. He explained the only real limitation with Urban Renewal is that it needs to be a capital type project and he thinks all that was mentioned falls underneath that blanket.

Brian Rosenthal replied the idea behind his suggestion was instead of leaving it for everything narrowing it down so it is a simpler review process, which would make it easier for staff and just clearer and cleaner.

Chair Burge stated so a simple process and a simple program.

Consultant Scott Vanden Bos explained if you wanted to make changes to that language, most certainly. He stated the only alternate case that he can see that would be a disadvantage is if you had some sort of property, which has happened in other cities, where the frontage improvements were let's say \$3,000 but they need to run stormwater, sewer and all of that to the property and that was another \$15,000 to \$16,000. So whereas you could give a much more enticing incentive to a property that obviously needs those improvements you would be limited by the scope if you strictly defined it. He stated the other option would be to list examples under site preparation to make it more clear to potential developers that were including the frontage improvements and infrastructure improvements that maybe necessary to allow the lot to develop, making it more clear what the activities are.

Megan Greisen explained she is personally fine with the language site preparation, however if it does make it a little more transparent to add frontage improvement and some of the other language, she doesn't think it is going to hurt them or the people who are applying. She is open to adding the language.

Consultant Scott Vanden Bos explained he thinks adding two or three bullet points to make it more clear is a great idea.

Chair Burge asked Consultant Scott Vanden Bos if there is anything else?

Consultant Scott Vanden Bos replied no. He will make that change and send a copy over to the Agency. He stated if there are any more questions, concerns or edits let them know.

City Manager Rains asked Consultant Scott Vanden Bos if she heard him say that these don't require a formal approval?

Consultant Scott Vanden Bos replied correct, these don't require a formal approval.

City Manager Rains asked if the Agency prefer that before this gets advertised as available that it comes back one more time with these changes or do you want us to just implement these changes and put it out.

Josh Poling replied he would just say just implement them and put them out personally he feels that way.

Chair Burge thanked Consultant Scott Vanden Bos.

Adjournment

Chair Scott Burge adjourned the Urban Renewal Agency meeting at 6:18 pm.

Chair Scott Burge

Attest:

City Recorder Susan M. Reeves, MMC



SCAPPOOSE *Oregon*

MONDAY, JUNE 20, 2022
URBAN RENEWAL AGENCY MEETING, 6:30 pm
Scappoose Council Chambers
33568 E Columbia Avenue
Scappoose, Oregon 97056

Call to Order

Scott Burge called the meeting to order at 6:30pm.

Roll Call

Present: Agency Members ~ Scott Burge; Josh Poling; Brandon Lesowske; Pete McHugh; Tyler Miller; Jeannet Santiago; City Manager Alexandra Rains; Finance Administrator Carol Almer; City Recorder Susan Reeves; Assistant to City Manager Isaac Butman; Legal Counsel Peter Watts; and Rob Moody, CPA with Merina+Co.

Excused: Megan Greisen

Approval of the Agenda

Josh Poling moved, and Brandon Lesowske seconded the motion to approve the agenda. (Motion passed 6-0). Scott Burge, aye; Josh Poling, aye; Brandon Lesowske, aye; Pete McHugh, aye; Tyler Miller, aye; and Jeannet Santiago, aye.

Public Comment

There were no public comments.

Election of Chair and Vice Chair

Brandon Lesowske moved, and Jeannet Santiago seconded the motion to continue Scott Burge as Chair and Josh Poling as Vice Chair. (Motion passed 6-0). Scott Burge, aye; Josh Poling, aye; Brandon Lesowske, aye; Pete McHugh, aye; Tyler Miller, aye; and Jeannet Santiago, aye.

Approve Minutes ~ June 21, 2021

Josh Poling moved, and Brandon Lesowske seconded the motion to approve the June 21, 2021 Urban Renewal Agency meeting minutes. (Motion passed 6-0). Scott Burge, aye; Josh Poling, aye; Brandon Lesowske, aye; Pete McHugh, aye; Tyler Miller, aye; and Jeannet Santiago, aye.

New Business

Consideration of the 2022-2023 Fiscal Year Budget

Chair Burge opened the public hearing at 6:32pm and closed due to no one wanting to speak on this matter.

Resolution No. URA 1-22: Hold a Public Hearing on the proposed Approval budget for the Fiscal Year 2022-2023, Making Appropriations, Imposing the Tax, and Categorizing the Tax.

City Manager Alexandra Rains explained the resolution in front of you will adopt the budget, make appropriations, imposing the tax and categorize the tax.

Brandon Lesowske moved, and Josh Poling seconded the motion that Council adopt Resolution No. URA 1-22: Hold a Public Hearing on the proposed Approval budget for the Fiscal Year 2022-2023, Making Appropriations, Imposing the Tax, and Categorizing the Tax. (Motion passed 6-0). Scott Burge, aye; Josh Poling, aye; Brandon Lesowske, aye; Pete McHugh, aye; Tyler Miller, aye; and Jeannet Santiago, aye.

Adjournment

Chair Burge adjourned the meeting at 6:34 pm.

Chair Scott Burge

Attest:

City Recorder Susan M. Reeves, MMC



SCAPPOOSE
Oregon

**Scappoose Urban Renewal Agency
Business Development Grant Program
Completeness Review**

Cathedral Coffee

Requirements:

Conceptual Design

☐ Yes ☒ No

Application and signatures

☒ Yes ☐ No

Copy of business license, if applicable

☐ Yes ☒ No ☐ Not Applicable

Permission from owner, if applicable

☐ Yes ☒ No ☒ Not Applicable

Project Cost/Budget

☒ Yes ☐ No

Detailed Project Description

☒ Yes ☐ No

Statement on match funding

☒ Yes ☒ No

Materials spec. board or detailed description of materials

☒ Yes ☒ No

Construction Schedule or similar

☒ Yes ☒ No

Other information from guidelines, or as requested

☒ Yes ☐ No

This application is not yet complete. It is missing: design/visuals, statements on matching funds, timeline for implementation, funding ask, business license (note, the City of Scappoose has this on file and may be able to pull this if necessary, however, we would like this to be provided if possible).

Scappoose Business Development Grant Program Application**APPLICANT INFORMATION**

Name: TANNER AUSTEN (CATHEDRAL COFFEE)
Last First M.I.

Address: 33355 SW MOUNTAIN WAY
Street Address Apartment/Unit #

SCAPPOOSE OR 97056
City State ZIP Code

Home Phone: (503) 935-4312 Email: militanner@gmail.com

Tax ID Number: 46-2017504

BUILDING/BUSINESS/PROPERTY TO BE IMPROVED

Name: PYRAMID HOLDINGS
Last First M.I.

Address: 12700 NW CORNELL ROAD
Street Address Apartment/Unit #

PORTLAND OR 97229
City State ZIP Code

Property Tax Account Number: R-

OWNER OF PROPERTY (IF NOT APPLICANT)

Name: _____
Last First M.I.

Address: _____
Street Address Apartment/Unit #

City State ZIP Code

Phone Number: () _____

AUTHORIZATION TO UNDERTAKE WORK

If the applicant is not the owner of the property, please provide written evidence that the owner authorizes this work to be undertaken.

LAND USE

Has the applicant attended a pre-application conference for this project? Y / **(N)**

Has the applicant submitted for land use approval? If not, when would the applicant expect to do so? Y / **(N)**

***EQUIPMENT REPLACEMENT**

DESCRIPTION OF PROPOSED BUSINESS DEVELOPMENT ACTIVITIES:

I OPENED CATHEDRAL COFFEE IN MAY OF 2016 ON QUITE A BUDGET. IN SO DOING ALL OF MY EQUIPMENT WAS PURCHASED USED. WE HAVE BEEN INCREASINGLY BUSIER (THANKFULLY) AND ARE LOOKING AT MUCH NEEDED EQUIPMENT UPDATES. PRIMARILY I WOULD LIKE TO PURCHASE A NEW ESPRESSO MACHINE. IT IS THE ENGINE OF THE BUSINESS AND OUR CURRENT MACHINE IS NEEDING ATTENTION. THANKS SO MUCH FOR YOUR CONSIDERATION.

THE MACHINE IS A NUOVA SIMONELLI 2 GROUP.

ESTIMATED COST OF PROPOSED BUSINESS DEVELOPMENT ACTIVITIES: \$ 15,000

THE MACHINE ITSELF IS \$15,000, THEY ONLY SELL THEM WITH WARRANTY (\$2400) AND INSTALL.

STATEMENT OF UNDERSTANDING

The applicant understands that the City of Scappoose must approve the proposed business development activities. Certain changes or modifications may be required by the City prior to final approval. Any work commenced prior to a commitment letter issuance will not be eligible for reimbursement, and any work deviating from approved work must be pre-approved by the City of Scappoose to be eligible for reimbursement.

SUBMITTAL REQUIREMENTS


- Preliminary conceptual design of the proposed business development activities. This can be a photograph with marked changes, architectural drawing, plans, etc.
- Application (including signature and Federal Tax ID number)
- Copy of Business License, if you are a business owner
- Written permission for improvements from building owner, if you are not the owner
- Estimated project cost/budget and project description
- Statement on source of private match funding
- A materials spec. board or detailed description of materials
- Construction schedule for the project
- Other required information outlined in the program guidelines, as requested

CERTIFICATION BY APPLICANT

The applicant certifies that all information in this application and all information furnished in support of this application is given for the purpose of obtaining a grant and is true and complete to the best of the applicant's knowledge and belief.

If the applicant is not the owner of the property to be rehabilitated or if the applicant is not the sole owner of the property, the applicant certifies he/she has the authority to sign and enter into an agreement to perform the rehabilitation work on the property. Evidence of this authority must be attached.

Verification of any of the information contained in this application may be obtained by the City of Scappoose from any available source.


Applicant Signature

09/22/2022
Date

PLEASE RETURN APPLICATION AND REQUIRED INFORMATION TO:

The City of Scappoose Community Development Center
52610 NE 1st St., Suite 120 (if delivered in person)
35568 E Columbia Ave. (if mailed)
Scappoose, Oregon 97056
503-543-7184

Espresso Analyst, Inc.
 915 Allegheny River Blvd
 PA US
 +1 7244275561
 info@espressoanalysts.com



INVOICE

BILL TO

Cathedral Coffee
 33555 E Columbia Ave #111
 Scappoose, OR 97056

SHIP TO

Cathedral Coffee
 33555 E Columbia Ave #111
 Scappoose, OR 97056

INVOICE # 11498

DATE 04/23/2022

DUE DATE 04/30/2022

TERMS Automatic Charge
 After 5 Business
 Days

SALES REP

David

DATE	ACTIVITY	QTY	RATE	AMOUNT
	Installation and Warranty	1	2,400.00	2,400.00
	Installation and warranty			
	T-PA-300-05361	1	500.00	500.00T
	BWT Premium XL 20.9" X 5.71" 29-116 PSI. use with 300-02102 flush head assy.			
	300-02101	1	200.00	200.00T
	BWT Head W/flush kit			
	T-PA-160-50105	1	233.00	233.00T
	FXI-11, Single 10", Reduce Sediment, Chlorine Taste & Odor and Inhibit Scale with IsoNet®			
	THIS IS OR SIMILAR H2O FILTER			
	Eagle One 2 group	1	13,500.00	13,500.00T
	Eagle One, Nuova Simonelli 2 group espresso machine (WHITE) (2022 list pricing) 20,500			

OVERDUE: Mail payments: 135 Stormer Rd. Indiana, PA 15701. If
 you have a question about your bill, please call Kristen at (724) 427-
 5561.

Please note: a finance rate of 1.5% /month will be charged on all past
 due balances. In addition, all accounts with balances 15 or more days
 past due will be placed on services/shipping hold. Please pay the
 entire balance to avoid finance charges and any disruption to your
 service.

SUBTOTAL	16,833.00
TAX (0%)	0.00
TOTAL	16,833.00
BALANCE DUE	\$16,833.00

Isaac Butman

From: Austen Tanner <militanner@gmail.com>
Sent: Monday, September 26, 2022 11:19 AM
To: Isaac Butman
Subject: [External] Fwd: To whom it may concern,

CAUTION: This email is from outside the City of Scappoose. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Sent from my iPhone

Begin forwarded message:

From: Austen Tanner <militanner@gmail.com>
Date: September 22, 2022 at 4:57:43 PM PDT
To: loliver@cityofscappoose.org
Subject: To whom it may concern,

To whom it may concern,

Thank you so much for the opportunity to potentially receive this grant. I really appreciate the city's interest in developing small businesses for our community.

Cathedral coffee was established in 2016 and has been serving the community of Scappoose faithfully. It's been our pleasure.

We are applying For the amount of \$7000 to put towards a new espresso machine.

The espresso machine is the workhorse of the coffee industry. All of our drinks are Handcrafted using this tool. The quality and abilities of the machines are imperative.

The actual price of the unit was \$20,500. To give you a picture of the expense of operating and owning a café.

As more and more people have been moving into the area or maybe just experiencing us for the first time, it is vital that we are producing the drinks in a timely and consistent manner. This machine will help to further increase our capacity and in turn train our employees to work with specialized equipment.

Our employees have been the highlight of our business. We've had many Scappoose graduates and continue to look to expand and offer a transferable skill and work experience for so many young people.

Again thank you so much for your consideration. We look forward to Serving you soon.

Austen Tanner
Cathedral Coffee

Sent from my iPhone



SCAPPOOSE
Oregon

**Scappoose Urban Renewal Agency
New Development Grant Program
Completeness Review**

Columbia Bldg. – Pyramid Holdings LLC

Requirements:

Conceptual Design

☒ Yes ☐ No

Application and signatures

☒ Yes ☐ No

Permission from owner, if applicable

☐ Yes ☐ No ☒ Not Applicable

Project Cost/Budget

☒ Yes ☐ No

Detailed Project Description

☒ Yes ☐ No

Statement on match funding

☒ Yes ☐ No

Materials spec. board or detailed description of materials

☐ Yes ☐ No ☒ Not Applicable

Construction Schedule or similar

☒ Yes ☐ No

Other information from guidelines, or as requested

☒ Yes ☐ No



SCAPPOOSE
Oregon

Scappoose New Development Grant Program Application

APPLICANT INFORMATION

Name: PYRAMIO HOLDINGS LLC - Bill WAGONER
Last First M.I.
Address: 12700 NW Cornell Road.
Street Address Apartment/Unit #
Portland OR 97229
City State ZIP Code
Phone: () 503 330-2215 Email: Bill@Westwoodhomesllc.com
Tax ID Number: 90-0717170

BUILDING/BUSINESS/PROPERTY TO BE IMPROVED

Name: Columbia Building
Last First M.I.
Address: 33555 E. Columbia Ave.
Street Address Apartment/Unit #
Scappoose OR 97056
City State ZIP Code
Property Tax Account Number: R- 3394 PARCEL 3212-AC-04600

OWNER OF PROPERTY (IF NOT APPLICANT)

Name: _____
Last First M.I.
Address: _____
Street Address Apartment/Unit #
City State ZIP Code
Phone Number: () _____

LAND USE

Has the applicant attended a pre-application conference for this project? Y / N

Has the applicant submitted for land use approval? If not, when would the applicant expect to do so? Y / N

2023

DESCRIPTION OF PROPOSED NEW DEVELOPMENT ACTIVITIES:

REBUILD NE 1ST AVE WITH PARKING
(SEE SITE PLAN)

BUILD MIXED USE COMMERCIAL AND
APARTMENT W/ OPEN SPACE.

POTENTIALLY DOING BREWPUB W/ GARAGE
DOORS FOR INDOOR & OUTDOOR DINING
BUILDING DESIGN IN PRELIM STAGES.

I HAVE INCLUDED A BUILDING WE ARE
DEVELOPING NOW IN HILLSBORO

ESTIMATED COST OF PROPOSED NEW DEVELOPMENT ACTIVITIES: \$

4 M

NO DETAILED BUDGET AVAILABLE TODAY
FUNDING WILL BE BANK LOAN WITH
COMMUNITY FINANCIAL

CONSTRUCTION SCHEDULE ON HOLD
AWAITING DDOT ROAD DEDICATION.
MOST LIKELY 2024 BUILD.

AKS - CIVIL ENG

WOODBLOCK - ARCHITECTS



STATEMENT OF UNDERSTANDING

The applicant understands that the City of Scappoose must approve the proposed new development activities. Certain changes or modifications may be required by the City prior to final approval. Any work commenced prior to a commitment letter issuance will not be eligible for reimbursement, and any work deviating from approved work must be pre-approved by the City of Scappoose to be eligible for reimbursement.

SUBMITTAL REQUIREMENTS

- Preliminary conceptual design of the proposed new development activities. This can be a photograph with marked changes, architectural drawing, plans, etc.
- Application (including signature and Federal Tax ID number)
- Written permission for improvements from property owner, if you are not the owner
- Estimated project cost/budget and detailed project description
- Statement on source of private match funding
- A materials spec. board or detailed description of materials
- Construction schedule for the project
- Other required information outlined in the program guidelines, as requested

CERTIFICATION BY APPLICANT

The applicant certifies that all information in this application and all information furnished in support of this application is given for the purpose of obtaining a grant and is true and complete to the best of the applicant's knowledge and belief.

If the applicant is not the owner of the property to be developed or if the applicant is not the sole owner of the property, the applicant certifies he/she has the authority to sign and enter into an agreement for development on the property. Evidence of this authority must be attached.

Verification of any of the information contained in this application may be obtained by the City of Scappoose from any available source.

Applicant Signature

Date

PLEASE RETURN APPLICATION AND REQUIRED INFORMATION TO:

The City of Scappoose Community Development Center
52610 NE 1st St., Suite 120 (if delivered in person)
35568 E Columbia Ave. (if mailed)
Scappoose, Oregon 97056
503-543-7184

Bill Wagoner

From: Bill Wagoner
Sent: Tuesday, August 9, 2022 3:09 PM
To: Laurie Oliver Joseph
Cc: Alexandra Rains
Subject: RE: New Business Development Grant application is ready
Attachments: SKMBT_C28022080914080.pdf; 5451 20211105 1st Ave Concept Layouts.pdf; 5054 20210907 neighborhood package.pdf

Laurie and Alexandra,

I filled out the form and happy to provide more information if I left something out.

I know that Laurie has all the background knowledge on what our plans are for this site and hopefully that helps 😊

i have a lot of information in my file, but wanted to include a couple attachments and keep it simple.

One is the 1st Ave street improvement conceptual design. We have been working with AKS, Mike Ard, and the City to find a design to widen the road, better the alignment, get an ODOT ROW dedication done, and provide a lot of public street parking. IMO this will improve the downtown core tremendously. The city has all of this information.

Future building- I have submitted several building footprints for discussion done in the past by Carl with Lower Columbia Engineering (since retired) but we are moving our architectural work to Woodblock Architecture, and the building design is only conceptual at this time. We will use AKS for site civil work. Those two companies are working together today on another project we are under construction on in South Hillsboro with 114 rowhouses, a 20 unit apt and about 10,000 sq ft of commercial with roll up doors intended for restaurant use. The rendering shows some of this. I am explaining this so you can verify our experience in these types of projects and to know we are working with excellent consultants to try and make this a high quality project and addition to downtown.

The vision we have for this Scappoose lot is approximately 2000 sq ft of commercial on the sw corner ground level adjacent to an open space plaza area to potentially be a beer/wine pub, with apartments behind and above (unit count tbd after traffic and parking studies completed).

A brand new street with head in street parking and a new building with open area, brew pub, and more housing.

We would like to start building this in 2023 but in reality I think it is most likely a 2024 project (still a lot to get approved). The project will take approximately one year to complete between streets and building the vertical.

Pyramid Holdings- We are a local private company solely owned by Bill Wagoner and Todd Boyce (who own Westwood Homes LLC). We intend to build and hold this building and think it can be a very positive change for the heart of Scappoose.

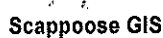
If you have any other questions or if I failed to provide something that would help with our grant application, please let me know.

Thank you for your consideration. I will put a copy in the mail as well to the address on the form.

Sincerely,

Bill

Location: 33555 E. Columbia Ave., Columbia County Assessor Map: 3212-AC-04500 & 3212-AC-04600



— Streets
 □ Taxlots Boundary



**REAL PROPERTY TAX STATEMENT
JULY 1, 2021 TO JUNE 30, 2022
COLUMBIA COUNTY, OREGON
230 STRAND STREET
ST. HELENS, OR 97051**

3396 -

**ACCOUNT NO:
3396**

PROPERTY DESCRIPTION

CODE: 0191
MAP: 3N2W12-AC-04600
ACRES: 0.44
SITUS:

3396 - - 013077 - 231174
PYRAMID HOLDINGS LLC
12700 NW CORNELL RD
PORTLAND OR 97231

NW REGIONAL ESD	21.47
SCAPPOOSE 1 JT SCHOOL	694.76
PORTLAND COMM COLLEGE	39.52
EDUCATION TOTAL:	755.75

COLUMBIA COUNTY	194.73
JAIL OPERATIONS - LOCAL OPTION	83.19
COLUMBIA 4H & EXTENSION	7.98
COL 9-1-1 COMM DISTR	77.27
COLUMBIA VECTOR	17.85
PORT OF COLUMBIA COUNTY	0.00
SCAPPOOSE LIBRARY	35.44
COLUMBIA SWCD	13.96
SCAPPOOSE CITY	450.85
SCAPPOOSE JT RFPD	441.30
CCDA - COLCO DEV AGENCY	0.39
SCAPPOOSE URBAN RENEWAL	45.07
GENERAL GOVT TOTAL:	1,368.03

SCAPPOOSE 1 JT SCHOOL	204.89
PORTLAND COMM COLLEGE	54.57
BONDS - OTHER TOTAL:	259.46

VALUES	LAST YEAR	THIS YEAR
REAL MARKET		
LAND	162,970	156,930
STRUCTURES	8,890	8,890
TOTAL RMV	171,860	165,820
TOTAL ASSESSED VALUE	139,330	143,500
EXEMPTIONS		
NET TAXABLE:	139,330	143,500
TOTAL PROPERTY TAX	2,210.46	2,383.24

COURTESY STATEMENT IF LENDER IS SCHEDULED TO PAY

Masks are required in building. Please use Drop Box for Tax Payments

Questions: VALUATION (503) 397-2240 TAX PAYMENT (503) 397-0060

2021 - 2022 TAX (Before Discount) 2,383.24

PAYMENT OPTIONS			
Date Due	3% Option	2% Option	Trimester Option
11/15/21	2,311.74	1,557.05	794.42
02/15/22			794.41
05/16/22		794.41	794.41
Total	2,311.74	2,351.46	2,383.24

TOTAL DUE (After Discount and Pre-payments) 2,311.74

↑ Tear Here

PLEASE RETURN THIS PORTION WITH YOUR PAYMENT

Tear Here ↑

2021 - 2022 PROPERTY TAXES

COLUMBIA COUNTY REAL

ACCOUNT NO. 3396

PAYMENT OPTIONS	Discount	Date Due	Amount	Date Due	Amount	Date Due	Amount
Full Payment Enclosed	3%	11/15/21	2,311.74				
or 2/3 Payment Enclosed	2%	11/15/21	1,557.05			05/16/22	794.41
or 1/3 Payment Enclosed	0%	11/15/21	794.42	02/15/22	794.41	05/16/22	794.41

DISCOUNT IS LOST & INTEREST APPLIES AFTER DUE DATE (UNPAID DELINQUENT TAX INCLUDED IN PAYMENT)

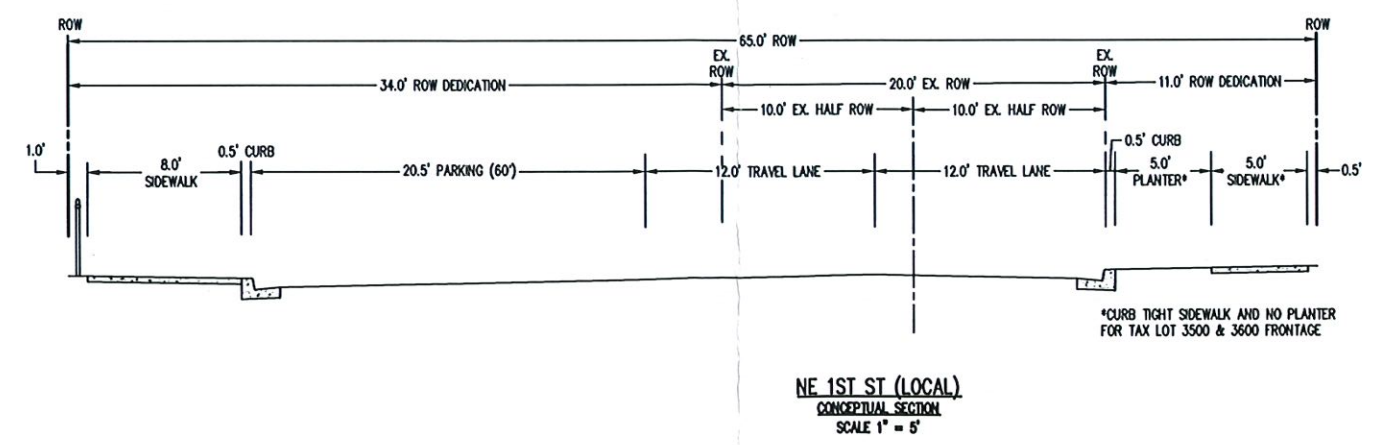
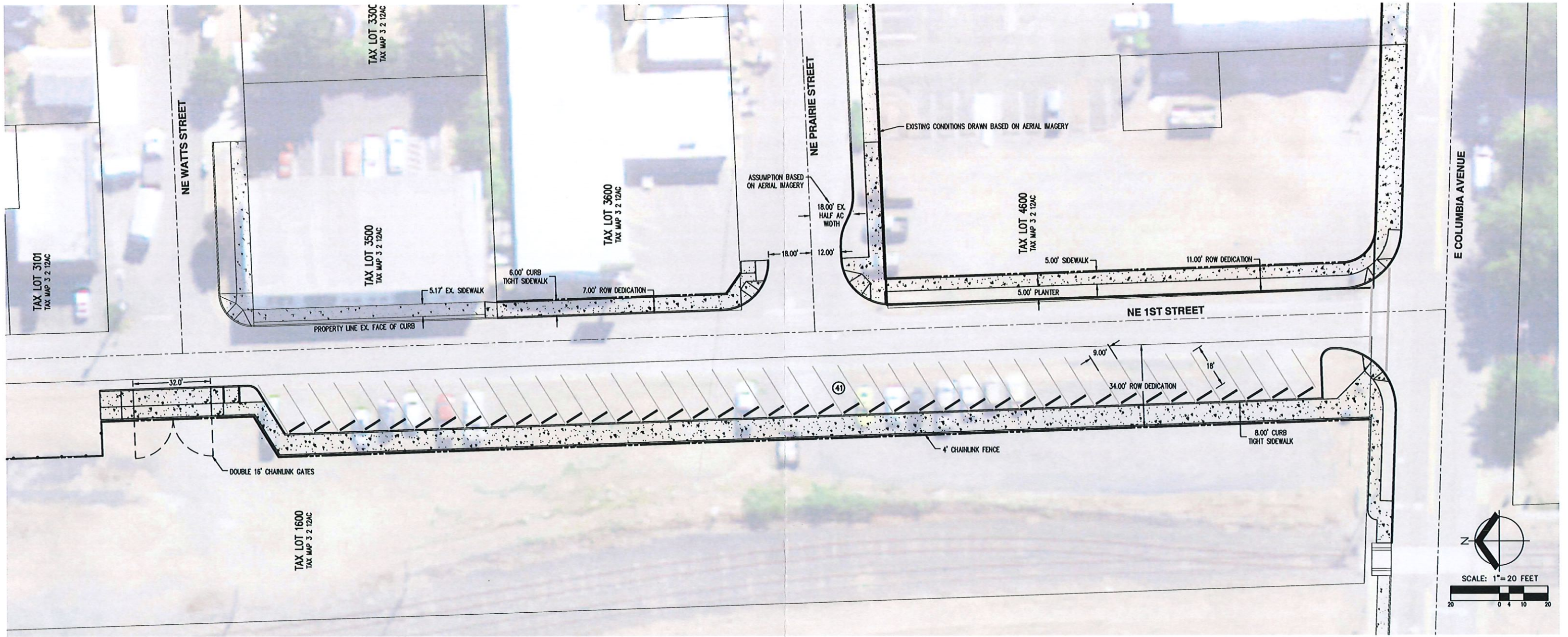
☐ Mailing address change on back

Enter Payment Amount
\$

3396 - - 013077 - 231174
PYRAMID HOLDINGS LLC
12700 NW CORNELL RD
PORTLAND OR 97231

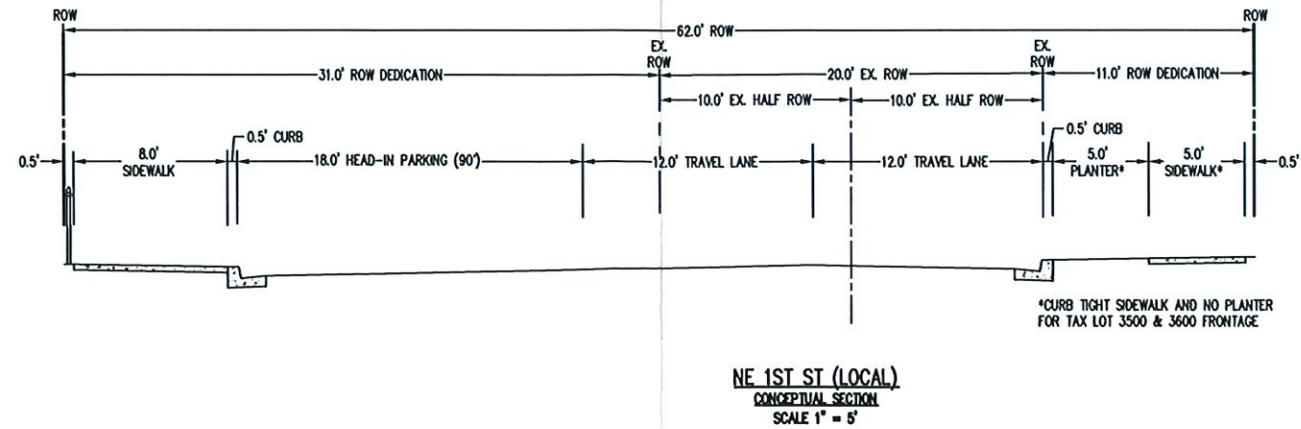
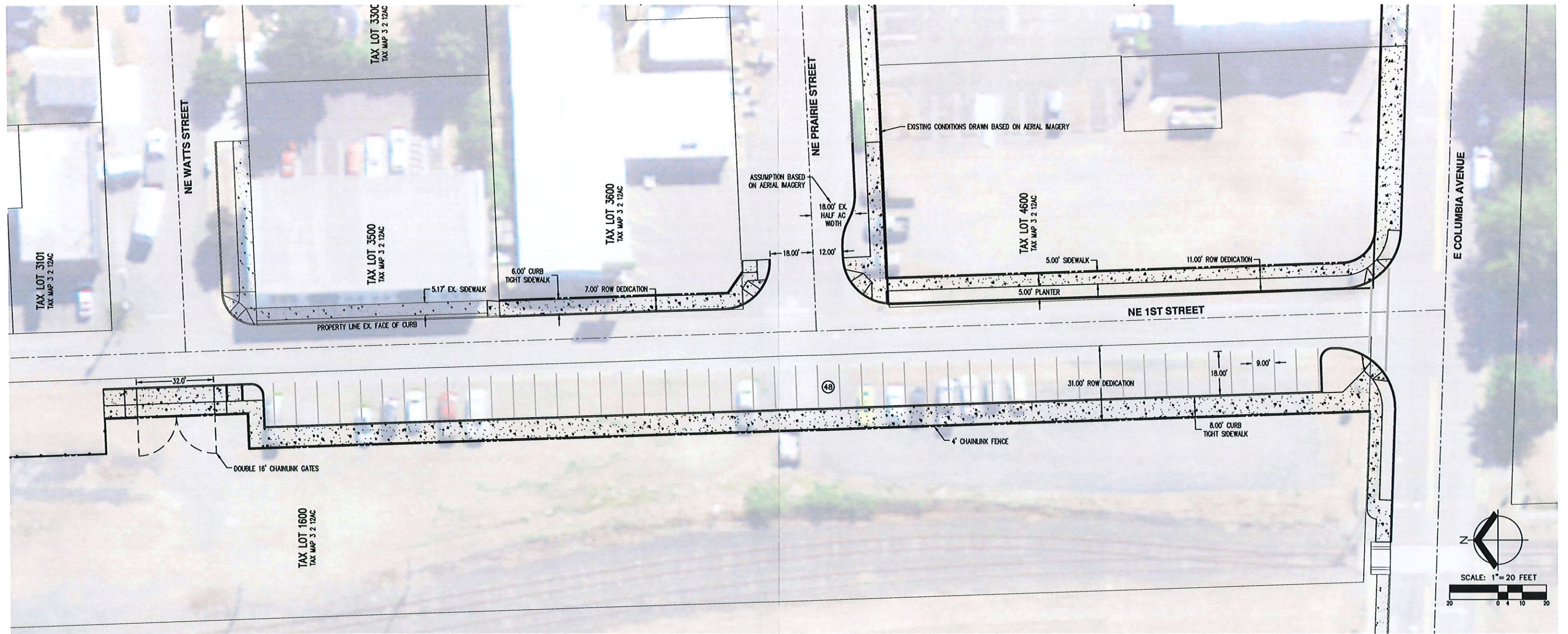
MAKE PAYMENT TO:
COLUMBIA COUNTY TAX COLLECTOR
230 STRAND STREET
ST. HELENS, OR 97051

21
05100000033960000079442000015570500002311743



- NOTES:**
1. ALL PROPERTY LINES AND RIGHT-OF-WAY LINES ARE BASED ON GIS INFORMATION PROVIDED BY OTHERS AND ARE CONSIDERED APPROXIMATE. NO FIELDWORK OR SURVEY HAS BEEN CONDUCTED AT THIS TIME.
 2. A COMPLETE TITLE RESEARCH OR REVIEW HAS NOT BEEN DONE AT THIS TIME.
 3. THIS LAYOUT IS FOR FEASIBILITY PURPOSES ONLY AND IS CONSIDERED APPROXIMATE.
 4. THIS IS A CONCEPTUAL LAYOUT AND IS SUBJECT TO CHANGE BASED ON CITY/ODOT/RAILROAD REQUIREMENTS, UTILITY SERVICES, TRANSPORTATION REQUIREMENTS, NATURAL RESOURCES, SURVEY DATA, TOPOGRAPHIC CONSTRAINTS, AND OTHER ITEMS.
 5. THIS LAYOUT IS SUBJECT TO CHANGE PENDING INFORMATION FROM A PRE-APPLICATION CONFERENCE, PRELIMINARY ENGINEERING AND CITY REVIEW AND APPROVAL OF LAND USE APPLICATION.
 6. PARKING LOT ACCESS TO TAX LOT 3600 NEEDS TO BE COORDINATED WITH THE PROPERTY OWNER.
 7. EXISTING UTILITY RELOCATION HAS NOT BEEN CONSIDERED AT THIS TIME.
 8. STORMWATER DRAINAGE CONCEPT INVOLVING DRY WELLS IN INTERSECTIONS IS NOT SHOWN.

CONCEPTUAL LAYOUT 02 33555 E COLUMBIA AVENUE



NOTES:

1. ALL PROPERTY LINES AND RIGHT-OF-WAY LINES ARE BASED ON GIS INFORMATION PROVIDED BY OTHERS AND ARE CONSIDERED APPROXIMATE. NO FIELDWORK OR SURVEY HAS BEEN CONDUCTED AT THIS TIME.
2. A COMPLETE TITLE RESEARCH OR REVIEW HAS NOT BEEN DONE AT THIS TIME.
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DATE: 11/03/2021 AKS JOB: 5451

AKS ENGINEERING & FORESTRY, LLC
12965 SW HERMAN RD, STE 100
TUALATIN, OR 97062
503.563.6151
WWW.AKS-ENG.COM



ENGINEERING • SURVEYING • NATURAL RESOURCES
FORESTRY • PLANNING • LANDSCAPE ARCHITECTURE

CONCEPTUAL LAYOUT 01 33555 E COLUMBIA AVENUE

WESTWOOD HOMES, LLC
SCAPPOOSE, OREGON

MIXED—USE PROJECT
CODE ANALYSIS FOR PYRAMID HOLDINGS
SCAPPOOSE, OREGON

PROJECT TEAM

ARCHITECT

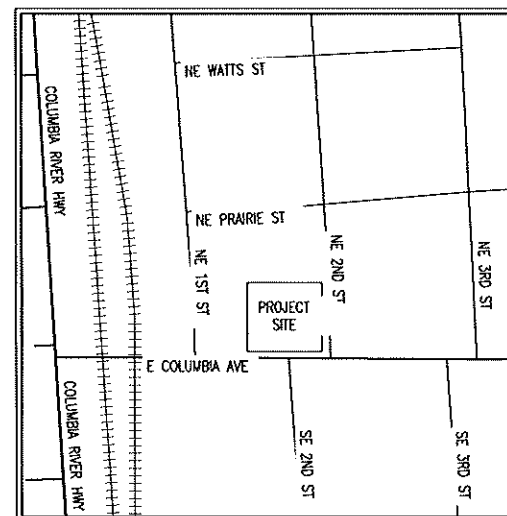
LOWER COLUMBIA ENGINEERING, LLC
58640 McNULTY WAY, ST. HELENS, OREGON 97051
PHONE: (503)-366-0399
CONTACT: CARL BEAN
carl@lowercolumbiaengr.com

ENGINEER

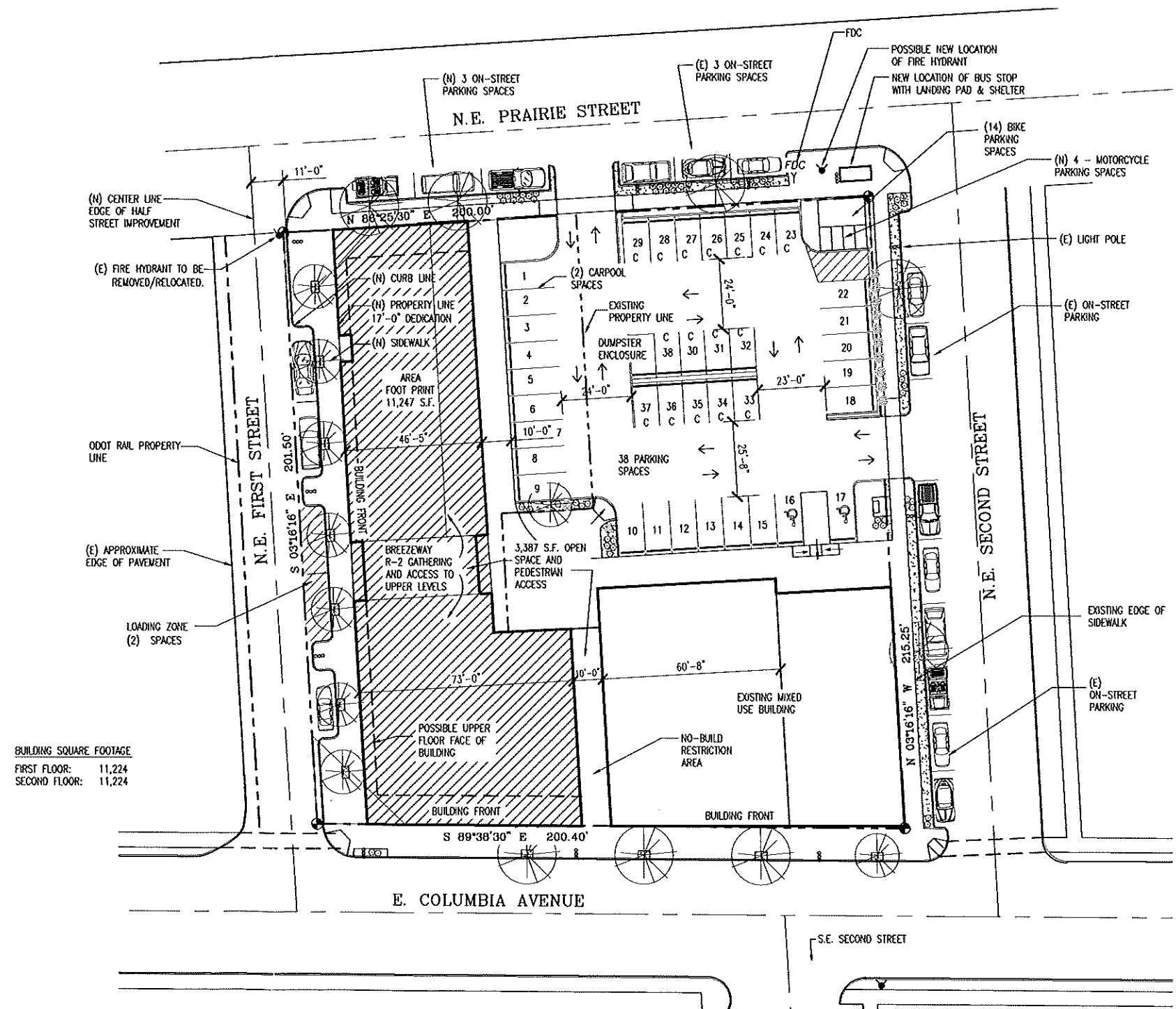
LOWER COLUMBIA ENGINEERING, LLC
58640 McNULTY WAY, ST. HELENS, OREGON 97051
PHONE: (503)-366-0399
CONTACT: ANDREW NIEMI, P.E.
andrew@lowercolumbiaenr.com

OWNER

PYRAMID HOLDINGS, LLC
 2700 NW CORNELL ROAD, PORTLAND, OREGON 97229
 CONTACT: BILL WAGONER
 PHONE: (503)-980-1708
bill@westwoodhomesllc.com



VICINITY MAP
SCALE: NTS



SITE PLAN - SINGLE BUILDING OPTION

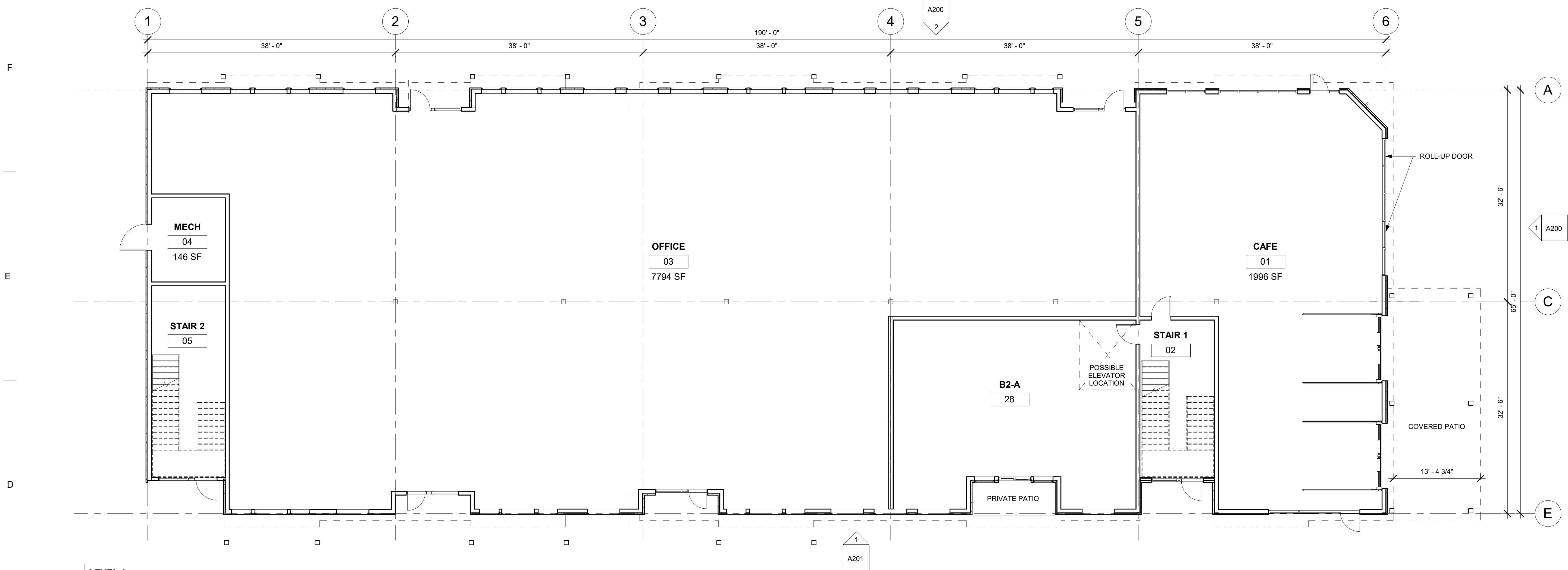
SCALE: 1" = 20'



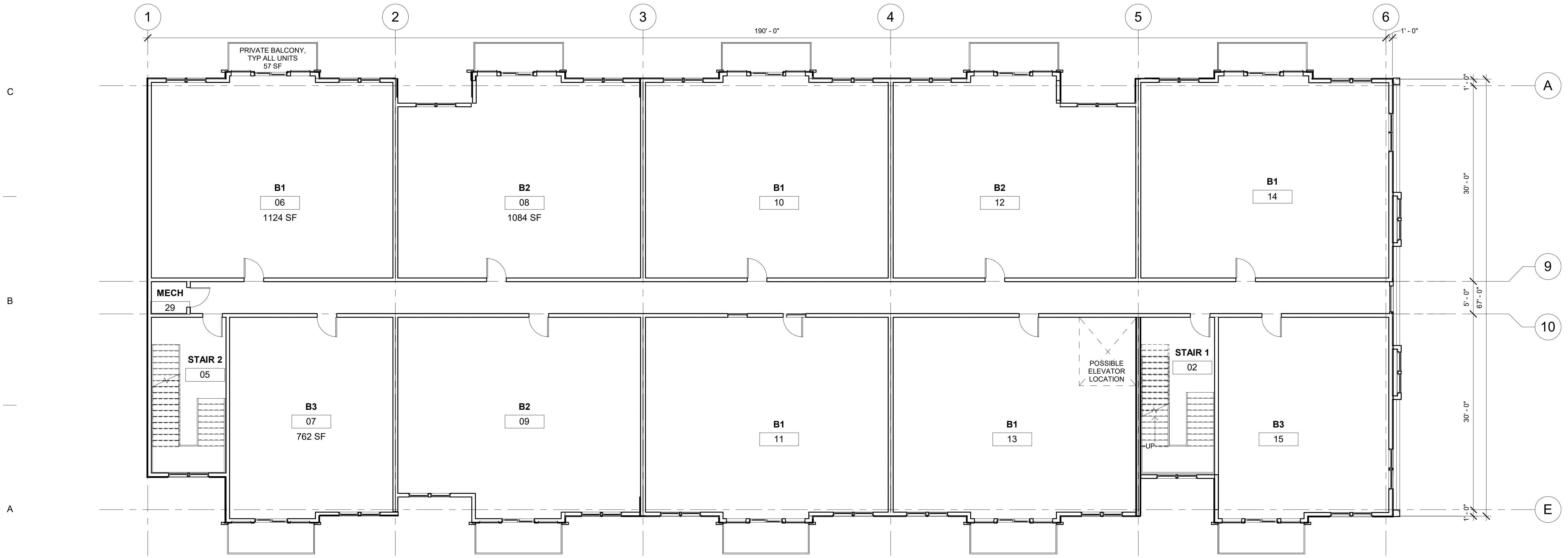
OPTION E

REV.	REVISION RECORD	DATE	 <div style="text-align: center;"> <p>Lower Columbia Engineering</p> </div>	St. Helens, Oregon (503) 325-0099	PROJ. NO. 2646	PYRAMID HOLDINGS
A	CODE UPDATE	3/19/18		DWG. BY TLS	BEST USE ANALYSIS (CODE ANALYSIS)	
B	CODE UPDATE	02/11/20		APPR. BY	VICINITY MAP, SITE PLAN, NOTES	
				SCALE NOTED	DATE 12/04/17	DWG. NO. D-2646-C1-B


9/7/2021 5:41:16 PM \\WBLOCK.COM\UserData\Redirected\michael\Documents\21-045 Westbrook Homes - Hillsboro Mixed Use_detached_2021_0818_michael@wblock.com.rvt



1 LEVEL 1
SCALE | 1/8" = 1'-0"



2 LEVELS 2-3
SCALE | 1/8" = 1'-0"



WOODBLOCK ARCHITECTURE, INC.
827 SW SECOND AVENUE, SUITE 300
PORTLAND, OR | 97204 | P 503.589.0004

NOT FOR CONSTRUCTION

**WESTBROOKE ESTATES -
MIXED USE**
Hillsboro, Oregon

SCHEMATIC DESIGN
09.07.21
Project #21-045

DESCRIPTION DATE

**FLOOR PLANS
A101**

9/7/2021 5:41:24 PM \\WBLOCK.COM\UserData\Redirected\michael\Documents\21-045 Westbrook Homes - Hillsboro Mixed Use_detached_2021_0818_michael@wblock.com.rvt



1 DAVIS RD. ELEVATION
SCALE | 1/8" = 1'-0"



2 BROOKWOOD AVE. ELEVATION
SCALE | 1/8" = 1'-0"

1/8" = 1'-0"
SCALE 5 0 5 10 15 20
FEET

9/7/2021 5:41:27 PM I:\WBLOCK\COM\UserData\Redirected\michael\Documents\21-045 Westbrook Homes - Hillsboro Mixed Use_delatched_2021_0818_michael@wblock.com.rvt

F
E
D
C
B
A

1

PARKING ELEVATION
SCALE | 1/8" = 1'-0"



1/8" = 1'-0"
SCALE
5 0 5 10 15 20
FEET

**WESTBROOKE ESTATES -
MIXED USE**
Hillsboro, Oregon

SCHEMATIC DESIGN
09.07.21
Project #21-045

**EXTERIOR
ELEVATIONS
A201**



1 CORNER OF BROOKWOOD AVE. & DAVIS RD.
SCALE |

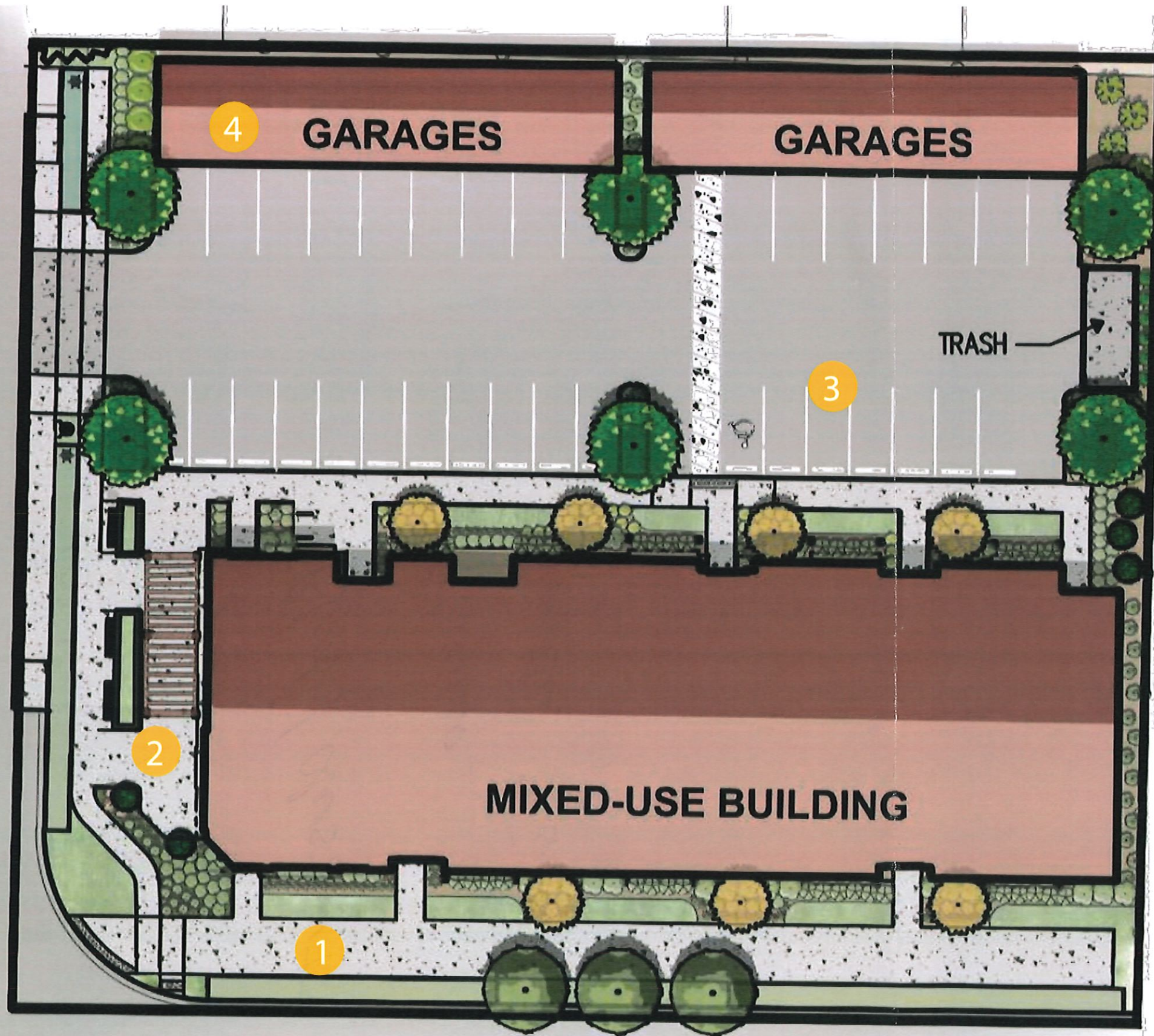
Mixed-Use Building

- Retail and office space on the ground floor
- 21 apartments (one ADA unit on ground floor)
- Entrances on west, east, and north sides of building



Mixed-Use Site Features

- 1 Continuation of 12-foot-wide multiuse sidewalk along SE Brookwood Avenue
- 2 Pedestrian Plaza on north side of mixed-use building
- 3 Parking located behind the building
- 4 Tandem parking for residential uses (with garages)



Westbrooke Estates Planned Unit Development

Hillsboro Planning Commission
January 12, 2022

City of Hillsboro Case File No.: PUD-005-21



Introductions

Applicant

- » Westwood Homes, LLC
 - » Bill Wagoner
 - » Todd Boyce

Architect

- » Woodblock Architecture
 - » Andra Riegler, Architect, LEED AP BD+C

Transportation Engineer

- » Lancaster Mobley
 - » Nick Mesler

Land Use Planning and Civil Engineering

- » AKS Engineering & Forestry, LLC
 - » Melissa Slotemaker, AICP
 - » Paul Sellke, PE



Site Details

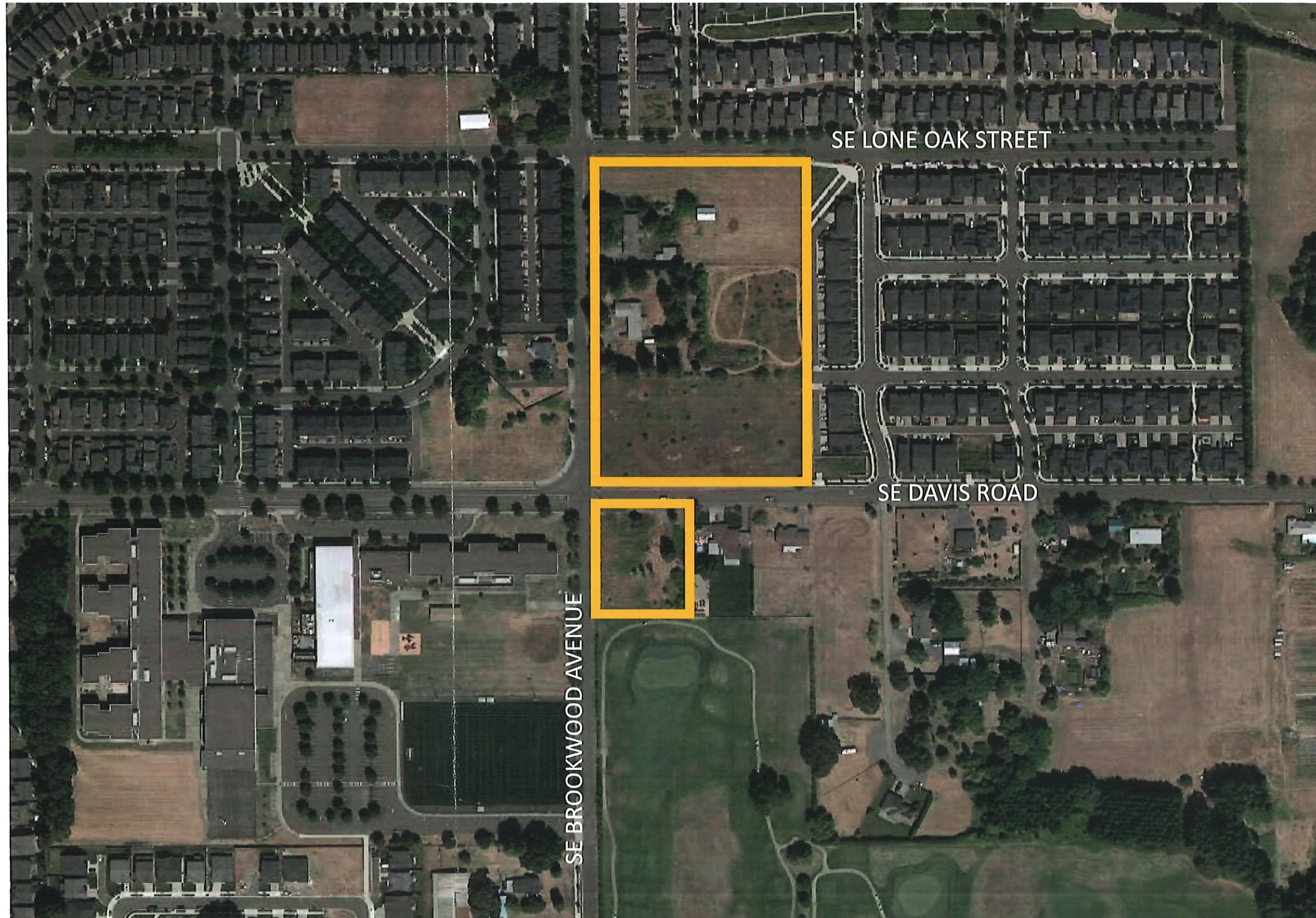
± 7.5 acres north of SE Davis Road

±1.09 acres south of SE Davis Road

Multi-Family and Mixed-Use Commercial Zoning Designations

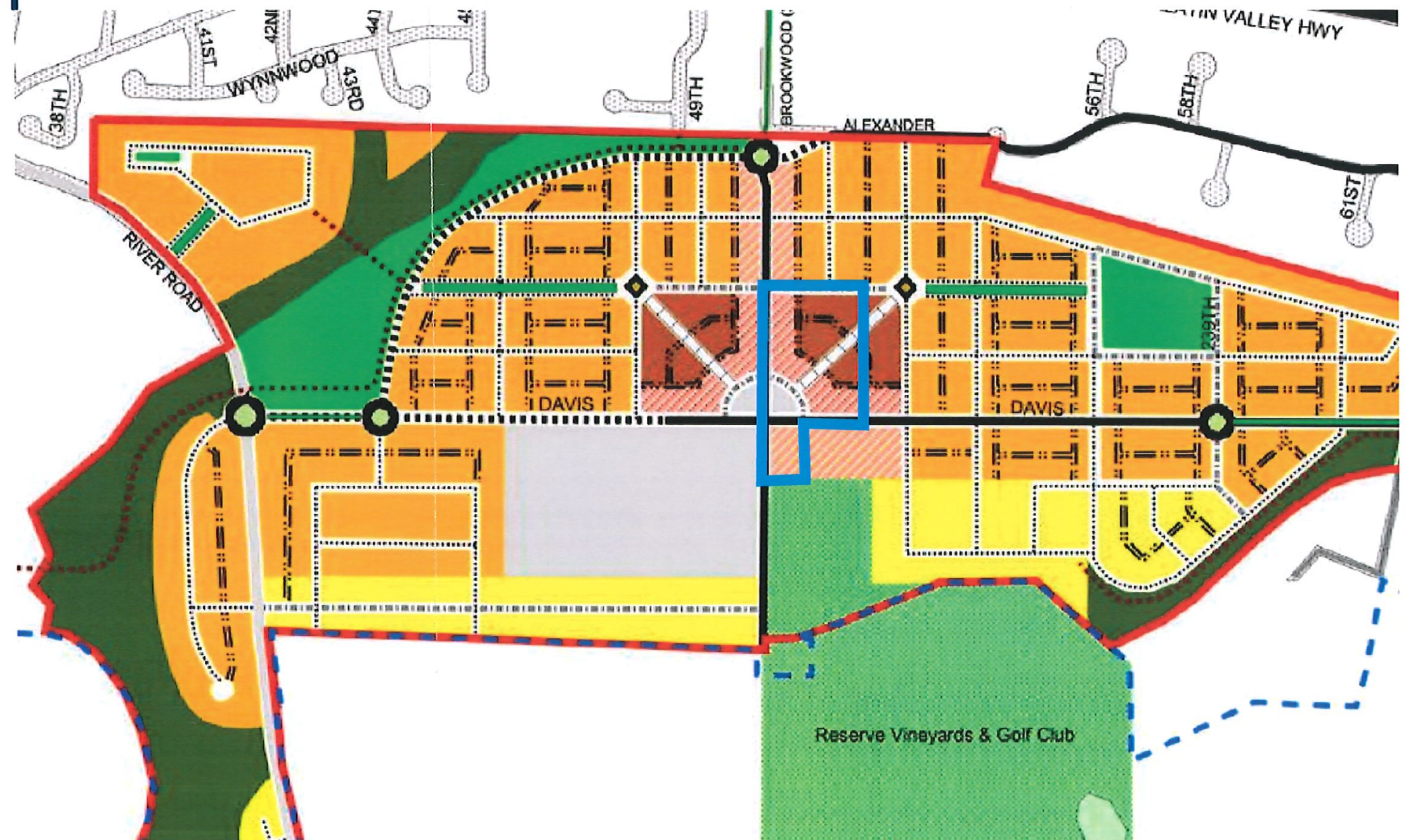
Adjacent uses include:

- Attached and detached residences to the east, west, and north
- Elementary and middle schools to the southwest
- The Reserve Golf Course to the south



Witch Hazel Village Community Plan

- Adopted in 2004

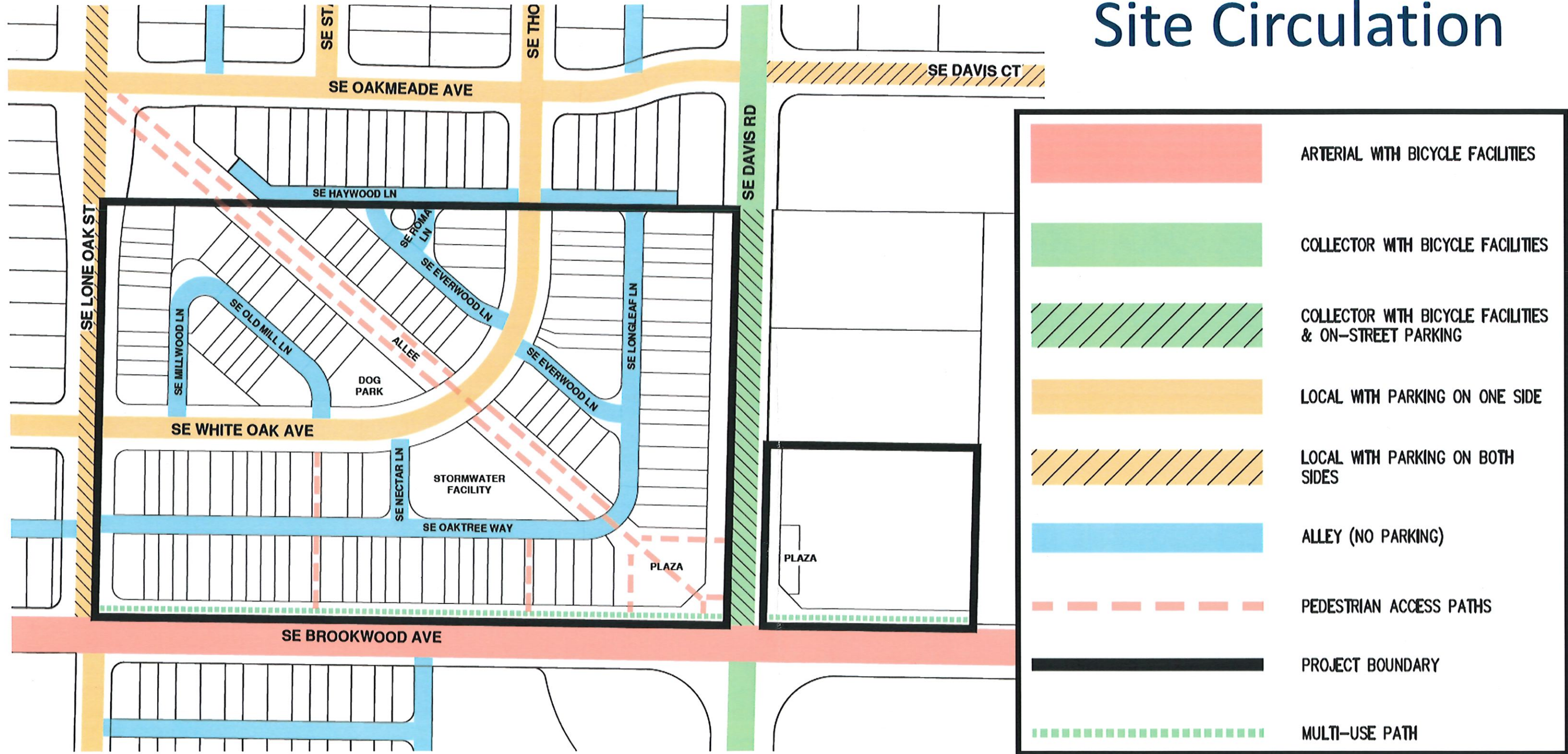


Project Overview

- 114 townhomes north of SE Davis Road – alley access
- 3-story mixed-use building on southern lot (Commercial on ground floor, 21 apartments, detached garages)
- Right-of-way dedications and street improvements along all the street frontages



Site Circulation



Site Features on North



- 1 12-foot-wide multiuse sidewalk along SE Brookwood Avenue
- 2 “Allée” – tree-lined open space/pathway through the site
- 3 Pedestrian Plaza at Brookwood/Davis corner
- 4 Fenced dog park
- 5 Unfenced stormwater facility

Townhome Design



- 3 story townhomes
- Conceptual designs submitted with PUD
- Architectural details will be reviewed with future Development Review application



Isaac Butman

From: Bill Wagoner <bill@westwoodhomesllc.com>
Sent: Thursday, September 22, 2022 4:35 PM
To: Isaac Butman
Cc: Laurie Oliver Joseph; Alexandra Rains
Subject: [External] RE: [External] RE: Scappoose URA Grant Application

CAUTION: This email is from outside the City of Scappoose. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Can this email work to say: **Applicant (Pyramid Holdings LLC) will at a minimum match dollar for dollar with any grant money to be spent on design, planning, engineering, and architectural work to continue the development of a mixed use building.**

If you can include that, great. If you need me to do more, please let me know.

Also, I have shared with Laurie over the years our ideas and feel confident she can speak in general terms about what we are wanting to do.

Small open area on SW Corner with Pub Bistro type business w/ roll up door on that corner. Outdoor seating. Apartments above. Fully improved 1st Street with a lot of new parking (again, Laurie has all the info)

Thanks, Bill



SCAPPOOSE
Oregon

**Scappoose Urban Renewal Agency
New Development Grant Program
Completeness Review**

Food Cart Pod – CCPOD LLC

Requirements:

Conceptual Design

☒ Yes ☐ No

Application and signatures

☒ Yes ☐ No

Permission from owner, if applicable

☐ Yes ☐ No ☒ Not Applicable

Project Cost/Budget

☒ Yes ☐ No

Detailed Project Description

☒ Yes ☐ No

Statement on match funding

☒ Yes ☐ No

Materials spec. board or detailed description of materials

☐ Yes ☒ No

Construction Schedule or similar

☐ Yes ☒ No

Other information from guidelines, or as requested

☒ Yes ☐ No



Scappoose New Development Grant Program Application

APPLICANT INFORMATION

Name: CCPOD, LLC (Hurliman, Nicholas; Schultz, Jeffrey; McHugh, Matthew)
Last First M.I.

Address: 51915 Columbia River Hwy
Street Address Apartment/Unit #
Scappoose OR 97056
City State ZIP Code

Phone: (503) 987-1587 Email: nick@hurlimancpa.com

Tax ID Number: CCPOD LLC 83-1775845

BUILDING/BUSINESS/PROPERTY TO BE IMPROVED

Name: _____
Last First M.I.

Address: 51875 SW Old Portland Rd
Street Address Apartment/Unit #
Scappoose OR 97056
City State ZIP Code

Property Tax Account Number: R- 4634

OWNER OF PROPERTY (IF NOT APPLICANT)

Name: _____
Last First M.I.

Address: _____
Street Address Apartment/Unit #

City State ZIP Code

Phone Number: ()

LAND USE

Has the applicant attended a pre-application conference for this project? Y / ☒ N

Has the applicant submitted for land use approval? If not, when would the applicant expect to do so? ☒ Y / N

DESCRIPTION OF PROPOSED NEW DEVELOPMENT ACTIVITIES:

Please see attached land use submittal set for full details.

Brief Description: We are planning to build a food cart pod that will allow for 11 food cart spaces around a 2100 sq ft dining hall/taproom. There will be covered and uncovered outdoor seating for patrons. Hoping to create a great food entrepreneur space where the community can gather and try many different food/drinks throughout the year.

ESTIMATED COST OF PROPOSED NEW DEVELOPMENT ACTIVITIES: \$ \$1,400,000

These are the initial rough estimates for the improvements, they do not count engineering and land acquisition to this point. Full estimate could be provided by general contractor.



STATEMENT OF UNDERSTANDING

The applicant understands that the City of Scappoose must approve the proposed new development activities. Certain changes or modifications may be required by the City prior to final approval. Any work commenced prior to a commitment letter issuance will not be eligible for reimbursement, and any work deviating from approved work must be pre-approved by the City of Scappoose to be eligible for reimbursement.

SUBMITTAL REQUIREMENTS

- Preliminary conceptual design of the proposed new development activities. This can be a photograph with marked changes, architectural drawing, plans, etc.
- Application (including signature and Federal Tax ID number)
- Written permission for improvements from property owner, if you are not the owner
- Estimated project cost/budget and detailed project description
- Statement on source of private match funding
- A materials spec. board or detailed description of materials
- Construction schedule for the project
- Other required information outlined in the program guidelines, as requested

CERTIFICATION BY APPLICANT

The applicant certifies that all information in this application and all information furnished in support of this application is given for the purpose of obtaining a grant and is true and complete to the best of the applicant's knowledge and belief.

If the applicant is not the owner of the property to be developed or if the applicant is not the sole owner of the property, the applicant certifies he/she has the authority to sign and enter into an agreement for development on the property. Evidence of this authority must be attached.

Verification of any of the information contained in this application may be obtained by the City of Scappoose from any available source.

Applicant Signature

8/4/22

Date

PLEASE RETURN APPLICATION AND REQUIRED INFORMATION TO:

The City of Scappoose Community Development Center
52610 NE 1st St., Suite 120 (if delivered in person)
35568 E Columbia Ave. (if mailed)
Scappoose, Oregon 97056
503-543-7184

Isaac Butman

From: Nicholas Hurliman <nick@hurlimancpa.com>
Sent: Wednesday, August 17, 2022 4:53 PM
To: Alexandra Rains
Cc: Isaac Butman
Subject: [External] Re: New Development Grant Application Follow Up

CAUTION: This email is from outside the City of Scappoose. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Alexandra,

I have Jeff Spang / Portait Homes NW LLC (general contractor) helping me on #2 and #3. I don't know if #3 is complete as we are waiting on two more parts of the engineering to finalize the schedule.

For #1, we have a few components here, so I want to be sure which you want to see and the format. Below are the types of contributions made to this point:

- Past cash contributions to CCPOD LLC for the project by the three owners, which have paid for engineering, architecture, and land use submission to this point. Roughly \$60,000 total to this point (\$20,000 per partner)
- Future cash contributions are estimated at \$150,000 total towards our part of the construction loan. (\$50,000 per partner) These are required by the bank before they begin construction funding.
- We also refinanced to take on more debt for our St Helens pod property to have more cash available for these initial costs. This amount was roughly \$50,000.

Let me know if that works or if you want specific numbers for each area.

Thanks,

--

Nicholas Hurliman, CPA | Hurliman CPA

This message (including any attachments) contains confidential information intended for a specific individual and purpose, and is protected by law. If you are not the intended recipient, you should delete this message and any disclosure, copying, or distribution of this message, or the taking of any action based on it, by you is strictly prohibited.

IRS CIRCULAR 230 NOTICE: Pursuant to regulations adopted by the Internal Revenue Service, we are required to advise you that any tax advice contained in this email (or anything attached to this email) is not intended or written to be used and may not be used by the taxpayer for the purpose of avoiding penalties that may be imposed upon the taxpayer.

SCAPPOOSE FOOD CART POD

CCPOD, LLC

51875 COLUMBIA RIVER HWY
SCAPPOOSE, OR 97056

DRAWING INDEX

GENERAL SHEETS - LOWER COLUMBIA ENGINEERING	
SHEET	DESCRIPTION
G-1	GENERAL PROJECT INFO, VICINITY MAP & INDEX
G-2	GENERAL PROJECT NOTES
CIVIL SHEETS - LOWER COLUMBIA ENGINEERING	
SHEET	DESCRIPTION
C-1	EXISTING CONDITIONS PLAN
C-2	EROSION AND SEDIMENT CONTROL PLAN
C-3	SITE PLAN
C-4	STORMWATER & GRADING PLAN
C-5	LANDSCAPING PLAN
C-6	ILLUMINATION PLAN
C-7	UTILITY PLAN
ARCHITECTURAL SHEETS - BY OTHERS- NOVAK ARCHITECTURE	
SHEET	DESCRIPTION
A200	FLOOR PLAN
A300	PRELIMINARY ELEVATIONS

GENERAL SITE INFO:

TOTAL LOT AREA:
27,766 SQ FT (APPROX 0.64 ACRES)

TOTAL PROPOSED IMPERVIOUS AREA:
21,963 SQ FT (79.1%)

TOTAL PROPOSED LANDSCAPE AREA:
5,803 SQ FT (20.9%)

FOOD CARTS: 11 CARTS TOTAL

TYPE A: MAX. SIZE - 8.5'x18' (3)
TYPE B: MAX. SIZE - 8.5'x16' (7)
TYPE C: MAX. SIZE - 10'x17' (1)

NEW BUILDING SIZE: 2,160 SQ. FEET (60'x36')
NEW BUILDING HEIGHT: 22' FEET (30' MAX.)

TOTAL PARKING SPACES: 26 TOTAL ON SITE
COMPACT SPACES: 8.5'x15' (6 SPACES)
STANDARD SPACES: 9'x18' (20 SPACES)
(ACCESSIBLE SPACES: 9'x18' - 2 SPACES OF 21)
(ADDITIONAL 3 NEW STREET PARKING SPACES OFFSITE)

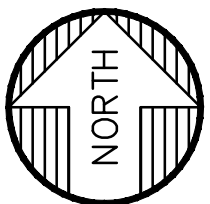
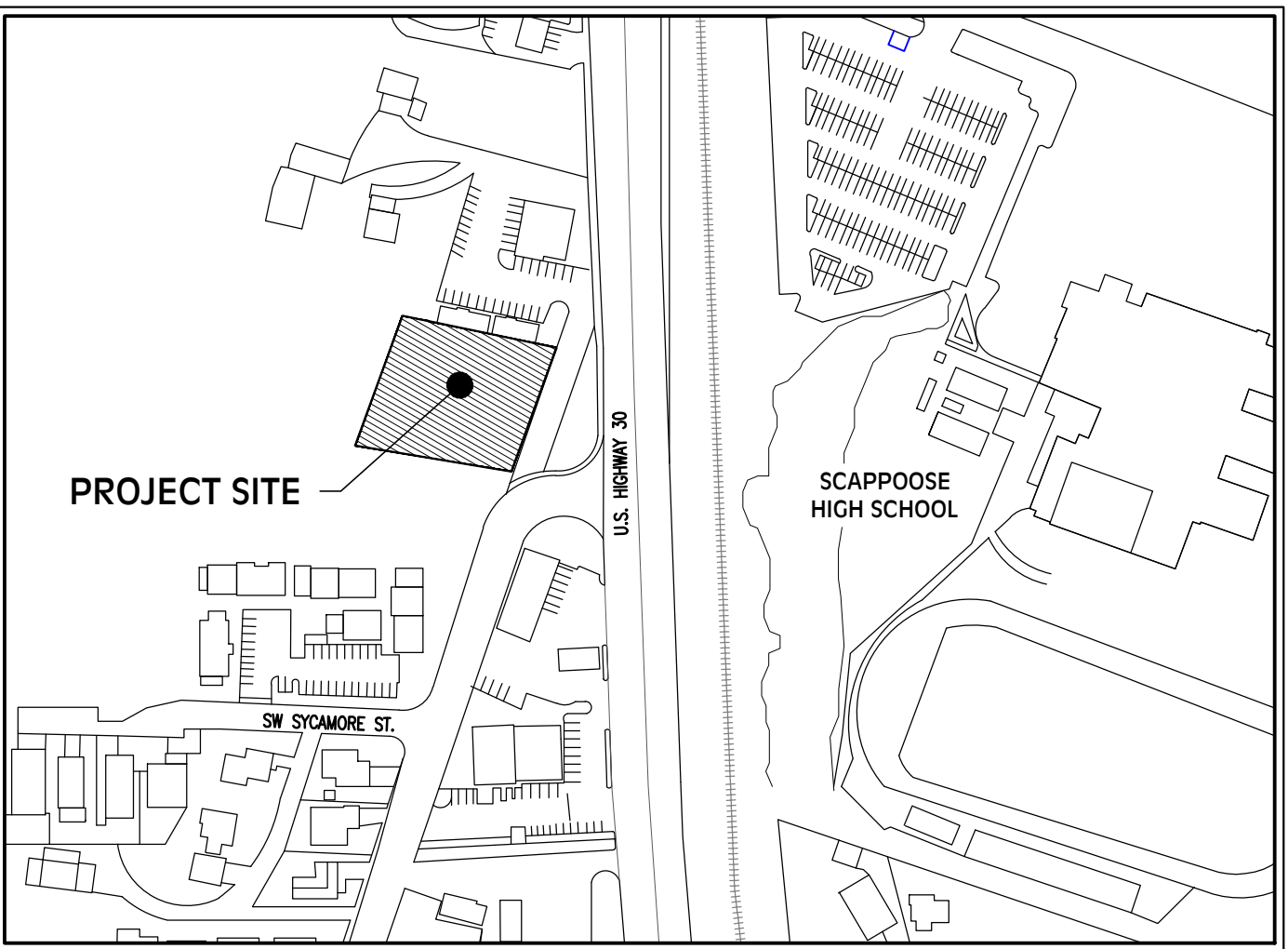
OTHER PROJECT INFORMATION

PROJECT NAME: CCPOD, LLC - SCAPPOOSE TAPHOUSE & FOOD CART POD

PROPOSED USE: COMMERCIAL, MIXED-USE
FOOD CART POD & (A-2) ASSEMBLY

OPERATING HOURS: 11AM-10PM
VEHICULAR TRAFFIC: (SEE TRAFFIC STUDY)

SPECIAL NOTE:
LOWER COLUMBIA ENGINEERING HAS ADDRESSED THE PROPOSED DESIGN, NOT INCLUDING THE ARCHITECTURAL DESIGN. THESE DRAWINGS ARE INTENDED FOR THE SITE DEVELOPMENT REVIEW CRITERIA REQUIREMENTS OUTLINED BY THE CITY OF SCAPPOOSE MUNICIPAL CODE 17.120. THE DRAWINGS ARE CONSIDERED PRELIMINARY ONLY.



VICINITY MAP
SCALE: NTS

PROJECT TEAM

CIVIL ENGINEER

LOWER COLUMBIA ENGINEERING
58640 McNULTY WAY
ST. HELENS, OR 97051
PHONE: (503) 366-0399

CONTACT: CHASE BERG
chase@lowercolumbiaengr.com

ENGINEER: ANDREW NIEMI
andrew@lowercolumbiaengr.com

ARCHITECT

NOVAK ARCHITECTURE
17020 SW UPPER BOONES FERRY RD.
STE. 200
PORTLAND, OR, 97224
(503) 352-4987

CONTACT: TERRY NOVAK
TNOVAK@NOVAKARCHITECTURE.COM

OWNER

CCPOD, LLC
51875 SW OLD PORTLAND RD.
SCAPPOOSE, OR 97056
PHONE: (503)-936-9241

CONTACT: MATT MCHUGH
matt@cascadialoans.com

CONTACT: JEFF SCHULTZ
jeff@schultzfs.com

CONTACT: NICK HURLIMAN
nick@hurlimanpcpa.com

GENERAL CONTRACTOR

PORTRAIT HOMES
51891 SW OLD PORTLAND RD.
SUITE B
SCAPPOOSE, OR 97056
PHONE: (503) 680-5637

CONTACT: JEFF SPANG
jspang@portraithomesnorthwest.com

***3RD PARTY CONSULTANTS
NOT SHOWN - DEFER TO SUBMITTALS

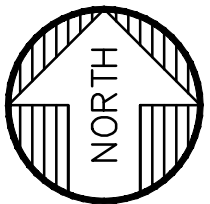
MASTER LEGEND

(E)	EXISTING
(N)	NEW
- - -	(E) MINOR CONTOUR
- - -	(E) MAJOR CONTOUR
- - -	(N) MINOR CONTOUR
- - -	(N) MAJOR CONTOUR
- - -	EXISTING FENCE
FH	(E) FIRE HYDRANT
- - -	PROPERTY LINE
- - -	ADJACENT PROPERTY LINE
SAN	(E) SANITARY SEWER
H2O	(E) WATER MAIN
PWR	(E) OVERHEAD WIRE
⊙	(E) SANITARY MANHOLE
⊙	(E) CATCH BASIN
SAN	(N) SANITARY SEWER MAIN
H2O	(N) WATER MAIN
⊙	(N) SANITARY CLEANOUT
⊙	(N) SANITARY MANHOLE
→	DRAINAGE FLOW ARROW
⊙	(E) TREE
○	(N) SIGN
△	(N) CONCRETE
+	(N) LANDSCAPED AREA
▨	(N) PAVESTONE
▨	(N) GRASS
▨	(N) RIVER ROCK
▨	(N) ASPHALT

PLOT PLAN LEGEND

▨	EXISTING BUILDING
▨	PROPOSED NEW FOODCARTS
▨	PROPOSED ACCESSORY STRUCTURES
▨	PROPOSED NEW BUILDING

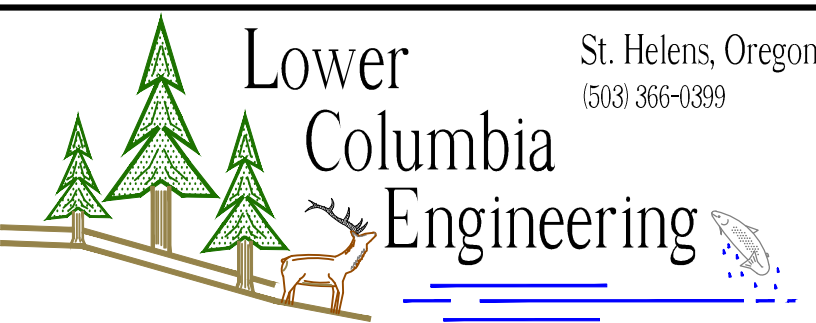
PLOT PLAN
SCALE: 1" = 20'-0"



DATE: 04/21/2022
PRELIMINARY
NOT
FOR CONSTRUCTION

DATE: 04/21/2022
REVISED PRINT
VOID ALL PREVIOUS

REV.	REVISION RECORD	DATE
A	UPDATE PER PRE-APPLICATION	11/04/2021
B	UPDATES PER CHECK-SET	11/18/2021
C	RE-ISSUE FOR LAND USE SUBMITTAL	03/01/2022
D	FINAL SITE REVISIONS	04/05/2022
E	FINAL LAND USE SUBMITTAL	04/13/2022



St. Helens, Oregon
(503) 366-0399

PROJ. NO.	3098	GENERAL PROJECT INFO, VICINITY MAP, & INDEX
DWG. BY	MLA	SCAPPOOSE FOOD CART POD
APPR. BY	CCPOD, LLC	SHEET
FILE	D-3098-G-1-E	DATE 01/15/21

G-1

LAND USE SUBMITTAL

GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST IRC (WITH APPROPRIATE AMENDMENTS) NDS AND ACI SPECIFICATIONS.
2. ALL ROOF FRAMING AND ANCHORAGE IS BY OTHERS, UNLESS NOTED OTHERWISE.
3. ANY NECESSARY SLOPE STABILITY ANALYSIS, VERIFICATION OF AN ALLOWABLE VERTICAL SOIL BEARING CAPACITY OF 1,500 PSF, VERIFICATION OF A MAXIMUM EQUIVALENT FLUID PRESSURE ON WALLS FROM SOIL OF 35 PSF/FT IS THE RESPONSIBILITY OF OTHERS.
4. CONTACT ENGINEER WITH ANY UNCERTAINTIES PRIOR TO PROCEEDING.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY SUPPORT OF STRUCTURES AND EMBANKMENTS.
6. IF APPLICABLE, SUBMIT TRUSS DESIGN TO ENGINEER PRIOR TO FABRICATIONS WITH LOCATIONS AND REACTIONS OF GIRDER TRUSSES TO PROVIDE APPROVAL FOR ADDITIONAL LOADING FROM ROOF FRAMING. VERIFY ALL TRUSS SPANS AND CONFIGURATIONS ON JOB SITE PRIOR TO FABRICATION.
7. ANY BEDROOMS SHALL HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20" AND A MINIMUM OPENING HEIGHT OF 22" AND A SILL HEIGHT OF NO MORE THAN 44" ABOVE FINISHED FLOOR.
8. WINDOWS WITHIN 18" OF FINISHED FLOOR, ANY GLAZING IN DOORS OR WITHIN 24" OF ANY DOOR AND TUB ARE TO BE TEMPERED.
9. ANY TUBS AND SHOWER DOORS ARE TO BE GLAZED WITH SAFETY GLAZING.
10. CRAWL SPACE SHALL BE VENTILATED WITH 1 SQ. FT. OF NET FREE AREA PER 150 SQ. FT. OF UNDER FLOOR SPACE. PROVIDE VENTS WITHIN 3'-0" OF ALL CORNERS. COVER ALL VENTS WITH 1/4" MAX. MESH. ENTIRE CRAWL SPACE SHALL BE COVERED WITH 6 MIL. CONTINUOUS PLASTIC VAPOR BARRIER AND BE SLOPED TO A LOW POINT DRAIN THAT DISCHARGES TO APPROVED STORM SEWER. PER ORSC, SECTION R408.
11. DO NOT SCALE DRAWINGS.
12. ALL SITE DESIGN ISSUES ARE THE RESPONSIBILITY OF OTHERS.

EXCAVATION & FOUNDATION NOTES

1. CONCRETE DESIGN IS BASED ON A COMPRESSIVE STRENGTH OF 2,500 PSI. HOWEVER, ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AFTER 28 DAYS, ALL REINFORCING STEEL SHALL BE A-615 GRADE 60.
2. ALL REINFORCING SHALL BE SPLICED AND/OR BENT TO FULLY DEVELOP THE CAPACITY OF THE BAR (44 BAR DIAMETERS MINIMUM).
3. ALL FOUNDATIONS SHALL BE CARRIED DOWN TO THE ELEVATIONS SHOWN OR TO SUITABLE UNDISTURBED, FULLY CONSOLIDATED SOIL, FREE OF ORGANIC MATERIAL, WHICHEVER IS LOWER.
4. ANY FILL MATERIAL UNDER FOUNDATIONS SHALL BE 3/4" MINUS CRUSHED ROCK, PLACED IN LAYERS NOT EXCEEDING 8" IN DEPTH AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY.
5. ALL BACKFILL SHALL BE EVENLY PLACED IN LAYERS NOT EXCEEDING 8" IN DEPTH AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY. REMOVE ANY STANDING WATER PRIOR TO BACKFILLING. BACKFILL SHALL NOT BE PLACED AGAINST WALL UNTIL SUFFICIENT STRENGTH AND SUPPORT HAS BEEN ACHIEVED.
6. VERIFY THAT ALL APPROPRIATE UTILITIES HAVE BEEN INSTALLED PRIOR TO EACH PHASE OF WORK.
7. ALL CONCRETE MIX POURED IN A NON-CONTROLLED ENVIRONMENT SHALL CONTAIN 3% AIR ENTRAINMENT PER ASTM C260. ALL WALKING SURFACES SHALL RECEIVE A SLIP RESISTANT SURFACE.
8. INSTALL SUITABLE CONSTRUCTION JOINTS IN ALL SLABS AT 15'-0" MAXIMUM, ALL DIRECTIONS.
9. INSTALL (2) #4 CONT. REBAR IN FOUNDATION WALL AND (2) #4 CONT. REBAR IN FOUNDATION BASE MINIMUM, 3" TYPICAL FROM ALL EDGES. INSTALL 5/8" DIAMETER ANCHOR BOLTS AT 4'-0" O.C. WITH (2) MIN. PER PLATE AND 6" FROM PLATE ENDS. BOLTS SHALL HAVE AN EMBEDMENT DEPTH OF 10" AND A 2" HOOK. CONTACT ENGINEER FOR ANY WALLS OVER 4'-0" IN HEIGHT.
10. PERMANENT FILLS AND CUTS SHALL NOT SLOPE MORE THAN 2 UNITS HORIZONTAL TO 1 UNIT VERTICAL.
11. CONTRACTOR IS RESPONSIBLE FOR ALL SITE DRAINAGE ISSUES. ALL FINISHED GRADES SHALL SLOPE AWAY FROM ALL BUILDINGS WITH APPROPRIATE COLLECTION SYSTEM.

MASONRY NOTES

1. ALL HOLLOW CONCRETE MASONRY UNITS SHALL BE "GRADE-A" 1350 PSI, 2-CELL UNITS CONFORMING TO ALL APPLICABLE STANDARDS LISTED IN CHAPTER 21 OF THE UNIFORM BUILDING CODE.
2. GROUT FOR ALL REINFORCED MASONRY WALLS SHALL BE 3/8" AGGREGATE CONCRETE WITH A 28 DAY STRENGTH OF 5,000 PSI WITH INTRUSION ADD MIXTURE EXPANDER APPLIED PER MANUFACTURERS SPECIFICATIONS. SLUMP SHALL BE 7-8 INCHES.
3. ALL MORTAR SHALL BE UBC "TYPE-S" 1,800 PSI COMPRESSIVE STRENGTH AT 28 DAYS WITH THE FOLLOWING PROPORTIONS: 1 PART CEMENT, 1/2 PART LIME, 4 PARTS SAND, 1/5 PART MAXIMUM POZZILAN AS REQUIRED.
4. ALL REINFORCING SHALL BE SPLICED AND/OR BENT TO FULLY DEVELOP THE CAPACITY OF THE BAR (44 BAR DIAMETERS MINIMUM).
5. INSTALL ALL ITEMS PER MANUFACTURERS SPECIFICATIONS AND PROPERLY SEAL ALL UNITS.

FRAMING NOTES

1. ALL EXTERIOR WALLS AND ROOF SHALL BE SHEATHED WITH 15/32" APA RATED PANELS WITH ALL EDGES BLOCKED AND NAILED AT 6" O.C. AT PANEL EDGES & 12" O.C. IN FIELD. FLOOR SHALL BE COVERED WITH 23/32" APA RATED T & G PANELS, GLUE ALL JOINTS AND ATTACH WITH 10d NAILS. NAILS SHALL BE SPACED AT 6" O.C. MAXIMUM AT ALL PANEL EDGES AND 12" O.C. ELSEWHERE. SEE "SHEAR WALL NAILING SCHEDULE" FOR NAILING REQUIREMENTS AT SHEAR PANELS. ALL WALL PLATES SHALL LAP 6'-0" MINIMUM WITH (2) 16d NAILS @ 6" O.C. MAXIMUM.
2. FOR GENERAL NAILING REQUIREMENTS, SEE SCHEDULE TO RIGHT.
3. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED PER NDS SPECIFICATIONS AND IN ACCORDANCE WITH ALL LOCAL CODES AND LAWS.
4. INSTALL GUARDRAILS A MINIMUM OF 36" HIGH SPACED SO THAT A 4" SPHERE CANNOT PASS THROUGH IN ALL AREAS WITH A 24" OR GREATER VERTICAL DROP. ALL RAILS SHALL BE CONSTRUCTED TO RESIST A 50 POUND PER FOOT LOAD. INTERMEDIATE AREAS SHALL RESIST A 50 PSF UNIFORM FORCE OR A 200# CONCENTRATED.
5. ALL FRAMING MATERIALS SHALL BE DOUGLAS FIR #2 OR BETTER UNLESS NOTED OTHERWISE. ALL FRAMING SHALL BE LEVEL, PLUMB, AND TIGHT. ANY TWISTED OR WARPED STUDS SHALL BE REPLACED PRIOR TO FRAMING FINAL.
6. ALL BEAMS SHALL HAVE A MINIMUM BEARING WIDTH OF 3" WITH POSITIVE CONNECTION TO COLUMNS, ALL COLUMNS SHALL HAVE POSITIVE CONNECTION TO FOUNDATION OR COLUMN BELOW. COLUMNS SHALL BE AS SPECIFIED OR TRIPLE STUDS MINIMUM GANG NAILED WITH (2) 16d NAILS AT 12" O.C.
7. ALL FRAMING COMPONENTS SHALL BE SUFFICIENTLY DRY PRIOR TO COVERING TO PREVENT GROWTH OF MOLD. VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR.
8. ALL ATTIC AREAS SHALL BE VENTILATED WITH A NET FREE VENT AREA TO FLOOR AREA RATIO OF 1:150. THIS RATIO MAY BE REDUCED TO 1:300 IF 50-80% OF THE VENT AREA IS IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3'-0" ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE PROVIDED BY EAVE OR CORNICE VENTS. INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. PROVIDE 1" MINIMUM AIR GAP.
9. ALL INTERIOR GYPSUM WALL BOARD SHALL BE ATTACHED WITH NO. 11 GA. 1 3/4" LONG DIAMOND POINT GALVANIZED NAILS WITH 7/16" HEAD OR 16 GA. x 1 3/4" LONG GALVANIZED STAPLES @ 4" O.C.

ELECTRICAL NOTES

1. ALL WORK SHALL BE DONE PER LOCALLY ADOPTED ELECTRICAL CODE AND COMMONLY ACCEPTED STANDARDS.
2. RECEPTACLE OUTLETS ARE REQUIRED IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUN ROOM, BEDROOM, OR SIMILAR ROOM OR AREA OF DWELLING.
3. RECEPTACLES SHALL BE INSTALLED WITH NO MORE THAN 6'-0" MEASURED HORIZONTALLY FROM OUTLETS IN THAT SPACE, INCLUDING ANY WALL SPACE THAT IS TWO FEET OR MORE IN WIDTH.
4. AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND IN BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, DETACHED GARAGES AND AT EXTERIOR SIDE OF EGRESS DOORS.
5. STAIRWAY LIGHTING, WHERE THE DIFFERENCE BETWEEN FLOOR LEVELS REQUIRES SIX OR MORE STAIR RISERS, SHALL BE CONTROLLED BY A WALL LIGHT SWITCH AT EACH FLOOR LEVEL.
6. SMOKE DETECTORS TO BE POWERED BY 110V CURRENT, CONNECTED TO HOUSE ELECTRICAL SYSTEM AND EQUIPPED WITH HUSH BUTTONS. INTERCONNECT ALL DETECTORS SO IF ONE TRIPS THEY WILL ALL SOUND. THEY SHALL ALSO HAVE A BATTERY BACKUP AND BE LOCATED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SLEEPING ROOM AND ON EACH FLOOR LEVEL, INCLUDING THE BASEMENT. SMOKE ALARMS SHALL MEET THE REQUIREMENTS OF O.R.S.C. R314. CARBON MONOXIDE DETECTORS SHALL MEET O.R.S.C. R315.
7. OTHER REQUIREMENTS:
KITCHENS: RECEPTACLE OUTLETS, WITH GFI PROTECTIONS, SHALL BE INSTALLED EVERY 24" ALONG ALL COUNTER SPACES THAT MEASURE 12" OR WIDER AND NOT MORE THAN 18" ABOVE COUNTERTOP.
BATHROOMS: RECEPTACLE OUTLET TO BE ON AT LEAST ONE WALL, WITH GFI PROTECTION, ADJACENT TO EACH BASIN LOCATION.
HALLWAYS: AT LEAST ONE RECEPTACLE TO BE PLACED IN HALLWAYS TO FEET IN LENGTH OR MORE.
WET LOCATIONS: RECEPTACLES INSTALLED IN WET LOCATIONS SHALL BE IN A WEATHER PROOF ENCLOSURE.
OUTDOORS: AT LEAST ONE RECEPTACLE OUTLET, WITH GFI PROTECTION, SHALL BE INSTALLED OUTDOORS AT THE FRONT AND BACK OF EACH DWELLING UNIT HAVING DIRECT ACCESS TO GRADE WITH WEATHER TIGHT ENCLOSURE.
HVAC OUTLET: A CONVENIENCE RECEPTACLE OUTLET SHALL BE INSTALLED FOR THE SERVICING OF HEATING, AIR CONDITIONING AND REFRIGERATION EQUIPMENT LOCATED IN ATTICS AND CRAWL SPACES.
ISLAND COUNTERS: AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND WITH A LONG DIMENSION OF 24" OR GREATER AND SHORT DIMENSION OF 12" OR GREATER.
GARAGE: INSTALL ONE OUTLET ON EACH GARAGE WALL A MINIMUM OF 18" ABOVE SLAB.

GENERAL NAILING SCHEDULE (OR REFER TO ATTACHED IBC TABLE 2304.9.1)
ANY NAILING SPECIFICATIONS ON PLANS TAKES PRECEDENCE OVER THIS SCHEDULE

CONNECTION	NAILING ¹
1. JOIST TO SILL OR GIRDER, TOENAIL	3-8d
2. BRIDGING TO JOIST, TOENAIL EACH END	2-8d
3. 1" X 6" (25mm x 152mm) SUBFLOOR LESS TO EACH JOIST, FACE NAIL	2-8d
4. WIDER THAN 1" X 6" (25mm x 152mm) SUBFLOOR TO EACH JOIST, FACE NAIL	3-8d
5. 2" (51mm) SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d
6. SOLE PLATE TO JOIST OR BLOCKING TYPICAL FACE NAIL	16d AT 16" (406mm) O.C.
SOLE PLATE TO JOIST OR BLOCKING, AT BRACED WALL PANELS	3-16d AT 16" (406mm)
7. TOP PLATE TO STUD, END NAIL	2-16d
8. STUD TO SOLE PLATE	4-8d, TOENAIL OR 2-16d, END NAIL
9. DOUBLE STUDS, FACE NAIL	16d AT 24" (610mm) O.C.
10. DOUBLED TOP PLATES, TYPICAL FACE NAIL	16d AT 24" (406mm) O.C.
DOUBLE TOP PLATES, LAP SPLICE	8-16d
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	3-8d
12. RIM JOIST TO TOP PLATE, TOENAIL	8d AT 6" (152mm) O.C.
13. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	2-16d
14. CONTINUOUS HEADER, TWO PIECES	16d AT 16" (406mm) O.C. ALONG EACH EDGE
15. CEILING JOISTS TO PLATE, TOENAIL	3-8d
16. CONTINUOUS HEADER TO STUD, TOENAIL	4-8d
17. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
18. CEILING JOISTS TO PARALLEL RAFTERS FACE NAIL	3-16d
19. RAFTER TO PLATE, TOENAIL	3-8d
20. 1" (25mm) BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d
21. 1" X 8" (25mm x 203mm) SHEATHING OR LESS TO EACH BEARING, FACE NAIL	2-8d
22. WIDER THAN 1" X 8" (25mm x 203mm) SHEATHING TO EACH BEARING, FACE NAIL	3-8d
23. BUILT UP CORNER STUDS	16d AT 24" (610mm) O.C.
24. BUILT UP GIRDER AND BEAMS	20d AT 32" (813mm) O.C. AT TOP AND BOTTOM AND STAGGERED 2-20d AT ENDS AND AT EACH SPLICE
25. 2" (51mm) PLANKS	2-16d AT EACH BEARING
26. WOOD STRUCTURAL PANELS AND PARTICLEBOARD, ² SUBFLOOR AND WALL SHEATHING (TO FRAMING) 1/2" (12.7mm) AND LESS 19/32" - 3/4" (15mm-19mm) 7/8" - 1" (22mm-25mm) 1 1/8" - 1 1/4" (29mm-32mm) COMBINATION SUBFLOOR-UNDERLAYMENT (TO FRAMING) 3/4" (19mm) AND LESS 7/8" - 1" (22mm-25mm) 1 1/8" - 1 1/4" (29mm-32mm)	6d ³ 8d ⁴ OR 6d ⁵ 8d ³ 10d ⁴ OR 8d ⁵ 6d ⁵ 8d ⁵ 10d ⁴ OR 8d ⁵
27. PANEL SIDING (TO FRAMING) 1/2" (12.7mm) OR LESS 5/8" (16mm)	6d ⁶ 8d ⁶
28. FIBERBOARD SHEATHING: 1/2" (12.7mm)	NO. 11 ga. ⁸ 6d ⁴ NO. 16 ga. ⁹ NO. 11 ga. ⁸ 8d ⁴ NO. 16 ga. ⁹
25/32" (20mm)	
29. INTERIOR PANELING 1/4" (6.4mm) 3/8" (9.5mm)	4d ¹⁰ 6d ¹¹

¹Common or box nails may be used except where otherwise stated.
²Nails spaced at 6 inches (152mm) on center at edges, 12 inches (305mm) at intermediate supports except 6 inches (152mm) at all supports where spans are 48 inches (1219mm) or more. For nailing of wood structural panel and particleboard diaphragms and shear walls, refer to Sections 2315.3.3 and 2315.4 Nails for wall sheathing may be common, box or casing.
³Common or deformed shank.
⁴Common.
⁵Deformed shank.
⁶Corrosion-resistant siding or casing nails conforming to the requirements of Section 2304.3.
⁷Fasteners spaced 3 inches (76mm) on center at exterior edges and 6 inches (152mm) on center at intermediate supports.
⁸Corrosion-resistant roofing nails with 7/16 inch diameter (11mm) head and 1-1/2 inch (38mm) length for 1/2 inch (12.7mm) sheathing and 1-3/4 inch (44mm) length for 25/32 inch (20mm) sheathing conforming to the requirements of Sections 2304.3.
⁹Corrosion-resistant staples with nominal 7/16 inch (11mm) crown and 1-1/8 inch (29mm) length for 1/2 inch (12.7mm) sheathing and 1 1/2 inch (38mm) length for 25/32 inch (20mm) sheathing conforming to the requirements of Section 2304.3.
¹⁰Panel supports at 16 inches (406mm) [20 inches (508mm) if strength axis in the long direction of the panel, unless otherwise marked]. Casing or finish nails spaced 6 inches (152mm) on panel edges, 12 inches (305mm) at intermediate supports.
¹¹Panel supports at 24 inches (610mm). Casing or finish nails spaced 6 inches (152mm) on panel edges, 12 inches (305mm) at intermediate supports.

FINISH NOTES

1. TUB AND SHOWER RECESSES SHALL HAVE 1/2" WATERPROOF GYPSUM WALL BOARD. WALLS TO HAVE HARD, MOISTURE RESISTANCE SURFACE UP TO 6'-0" MINIMUM.
2. ALL EXTERIOR DOORS, INCLUDING ANY DOORS INTO AN ATTACHED GARAGE TO BE SOLID CORE AND FITTED WITH A SINGLE CYLINDER, ONE INCH THROW DEADBOLTS, OPERATED BY A LEVER FROM THE INSIDE AND OPERATED BY A KEY. MOUNT DEADBOLTS 36" TO 48" ABOVE FINISHED FLOOR. OWNER IS RESPONSIBLE FOR SECURITY ISSUES SUCH AS DOOR LOCKS, ALARMS AND VIEW HOLES.
3. ALL FINISH ISSUES SHALL BE AGREED UPON BY CONTRACTOR AND OWNER.
4. ALL EXTERNAL HORIZONTAL TRIM SHALL HAVE GALVANIZED Z-FLASHING TO PREVENT WATER FROM ENTERING WALL.
5. ALL JOINTS SHALL BE PROPERLY SEALED AND ALL SURFACES SHALL BE PRIMED AND PAINTED WITH A MINIMUM OF TWO FINISH COATS, COLOR BY OWNER.
6. WALLS SEPARATING GARAGE AND LIVING SPACE SHALL BE 1 HOUR FIRE RATED CONSTRUCTION, WITH SOLID CORE FIRE DOORS.

MECHANICAL NOTES

1. ALL MECHANICAL UNITS SHALL MEET THE REQUIREMENTS OF THE O.R.S.C.
2. HVAC INSTALLER SHALL APPROVE FOUNDATION DESIGN, REQUESTING ANY REQUIRED CHANGES PRIOR TO CONSTRUCTION. ENGINEER SHALL APPROVE ANY STRUCTURAL MODIFICATIONS.
3. EXHAUST FANS, RANGE HOOD, AND CLOTHES DRYER SHALL VENT TO OUTSIDE OF BUILDING. EXHAUST FANS SHALL BE INSTALLED IN ALL RESTROOMS AND LAUNDRY ROOM AS A MINIMUM.
4. PROVIDE OUTSIDE COMBUSTION AIR VENTS (WITH SCREEN & BACKDAMPER) FOR ALL FIREPLACES, WOODSTOVES AND ANY APPLIANCE WITH AN OPEN FLAME PER IRC AND MANUFACTURERS SPECIFICATIONS.

CONCRETE FLOORS & SLABS

1. ALL INTERIOR CONCRETE FLOORS ARE TO HAVE A SMOOTH HARD TROWELED FINISH.
2. ALL EXTERIOR SLABS SHALL HAVE BROOM FINISH.

UTILITY LOCATES

(48 HOUR NOTICE PRIOR TO EXCAVATION)

OREGON LAW REQUIRES YOU TO FOLLOW THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH 952-001-0100. (YOU MAY OBTAIN COPIES OF THE RULES ROM THE CENTER BY CALLING 503 246 1987.)

ONE CALL SYSTEM.....1 800 332 2344

ON LINE <http://www.callbeforeyoudig.org/>

ACCESS NOTES

1. PROVIDE 22"x30" MINIMUM ATTIC ACCESS PER ORSC R807.
2. PROVIDE 18"x24" MINIMUM OPENING FOR CRAWL SPACE ACCESS PER ORSC R408.

APPLICABILITY

THE PURPOSE OF THIS SHEET IS TO PROVIDE GENERAL INFORMATION AND REQUIREMENTS FOR ITEMS THAT ARE NOT SPECIFICALLY ADDRESSED WITHIN THE DESIGN PLANS. NOT ALL OF THE GENERAL NOTES OR SPECIFICATIONS PROVIDED ON THIS SHEET ARE APPLICABLE TO THIS PROJECT. SPECIFIC INFORMATION INCLUDED IN THE DESIGN PLANS TAKES PRECEDENT OVER THE GENERAL NOTES PROVIDED ON THIS SHEET. FOR ASPECTS OF THE PROJECT THAT ARE NOT SPECIFICALLY ADDRESSED IN THE DESIGN PLANS OR ON THIS SHEET, THE CONTRACTOR SHOULD FOLLOW COMMON INDUSTRY STANDARDS AND LEVEL OF CARE FOR THIS TYPE OF NEW CONSTRUCTION. FOR SUCH ITEMS, THE CONTRACTOR SHALL PROVIDE A SUBMITTAL THAT DESCRIBES THE PROPOSED WORK IN DETAIL. APPROVAL OF THIS SUBMITTAL BY THE OWNER OR THEIR REPRESENTATIVE IS REQUIRED PRIOR TO PROCEEDING WITH ANY CONSTRUCTION ACTIVITY. CONTACT THE OWNER OR THEIR REPRESENTATIVE WITH ANY QUESTIONS OR UNCERTAINTIES PRIOR TO PROCEEDING WITH BIDDING OR EXECUTING ANY CONSTRUCTION ACTIVITY.

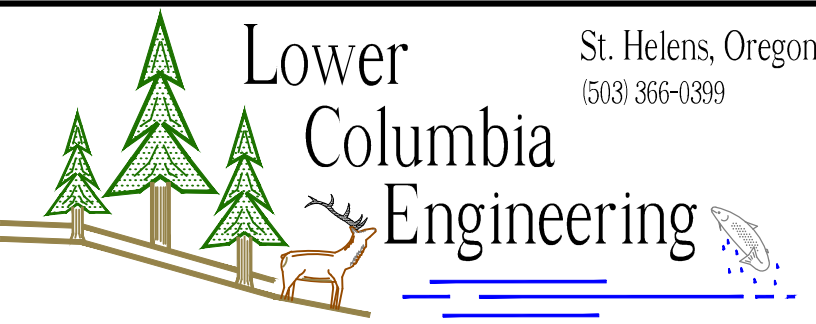
FLOOD NOTES

1. DETERMINATION OF BASE FLOOD ELEVATION IS THE RESPONSIBILITY OF OTHERS.
2. ALL UTILITES SHALL BE LOCATED 1'-0" MINIMUM ABOVE THE BASE FLOOD ELEVATION.
3. ALL WOOD THAT IS LOWER THAN 1'-0" ABOVE THE BASE FLOOD ELEVATION SHALL BE PRESSURE TREATED.
4. ALL STEEL FASTENERS AND HARDWARE THAT IS LOWER THAN 1'-0" ABOVE THE BASE FLOOD ELEVATION SHALL BE GALVANIZED PER APPLICABLE ASTM STANDARD.

DATE: 03/01/2022
PRELIMINARY
NOT
FOR CONSTRUCTION

DATE: 03/01/2022
REVISED PRINT
VOID ALL PREVIOUS

REV.	REVISION RECORD	DATE
A	UPDATE PER PRE-APPLICATION	11/18/2021
B	REISSUE FOR LAND USE SUBMITTAL	03/01/2022



St. Helens, Oregon
(503) 366-0399

PROJ. NO.	3098	GENERAL NOTES
DWG. BY	AAW	SCAPPOOSE FOOD CART POD
APPR. BY	CCPOD, LLC	SHEET
FILE	D-3098-G-2-B	DATE 10/27/2021

LEGEND

(E)

EXISTING

(E) MINOR CONTOUR

(E) MAJOR CONTOUR

EXISTING FENCE

(E) FIRE HYDRANT

PROPERTY LINE

ADJACENT PROPERTY LINE

(E) SANITARY SEWER

(E) WATER MAIN

(E) OVERHEAD WIRE

(E) SANITARY MANHOLE

(E) CATCH BASIN

(E) TREE (SIZE VARIES)

(E) CONCRETE

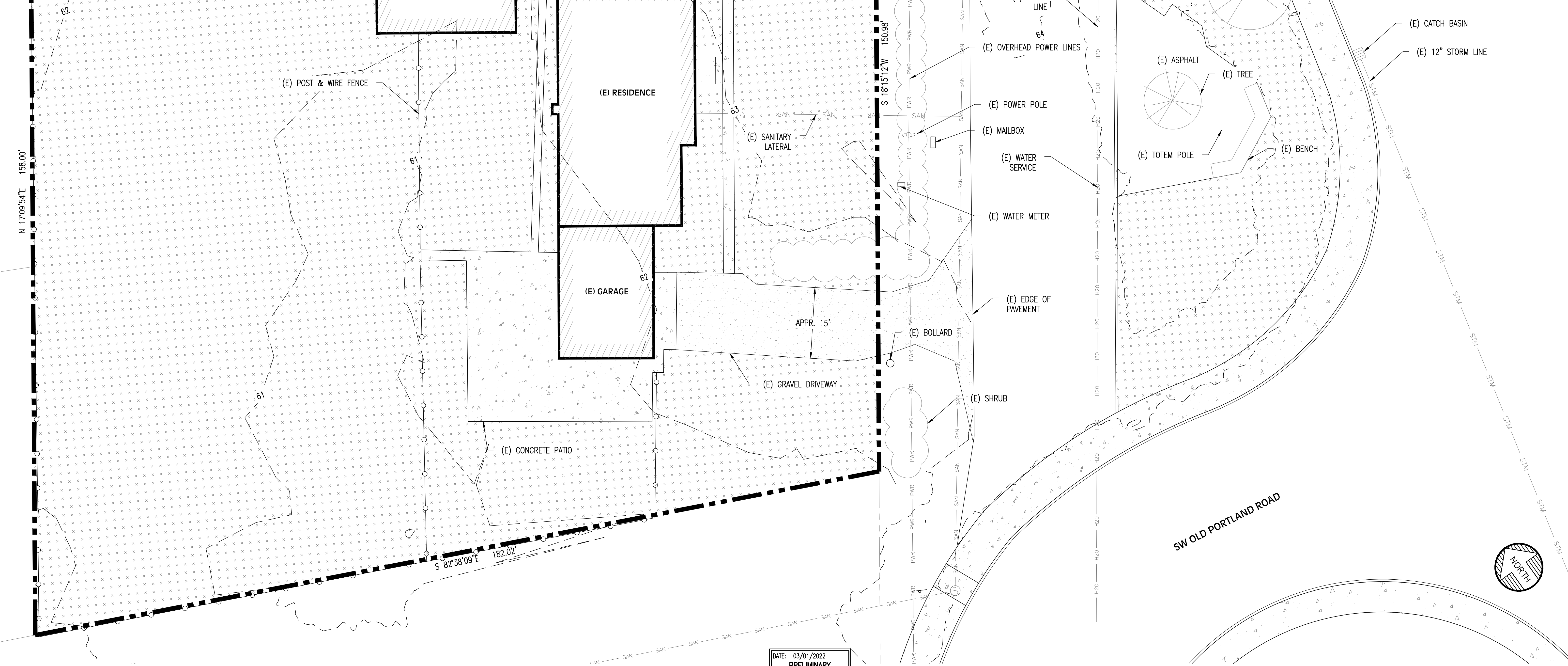
(E) LANDSCAPED AREA

EXISTING CONDITIONS NOTES

1. EXISTING STRUCTURES ON PROPERTY NOT CURRENTLY OCCUPIED OR IN USE.

2. GENERAL CONTRACTOR TO OBTAIN AND COORDINATE ALL DEMOLITION PERMIT(S) AS REQUIRED.

3. DEMO PERMITS OBTAINED ARE CONSIDERED SEPARATE FROM THE SCOPE OF WORK FOR DEVELOPMENT. EXISTING CONDITIONS SHOWN FOR REFERENCE ONLY.



N 17°09'54"E 158.00'

EXISTING CONDITIONS PLAN
SCALE: 1" = 10'-0"



DATE: 03/01/2022
PRELIMINARY
NOT
FOR CONSTRUCTION

DATE: 03/01/2022
REVISED PRINT
VOID ALL PREVIOUS

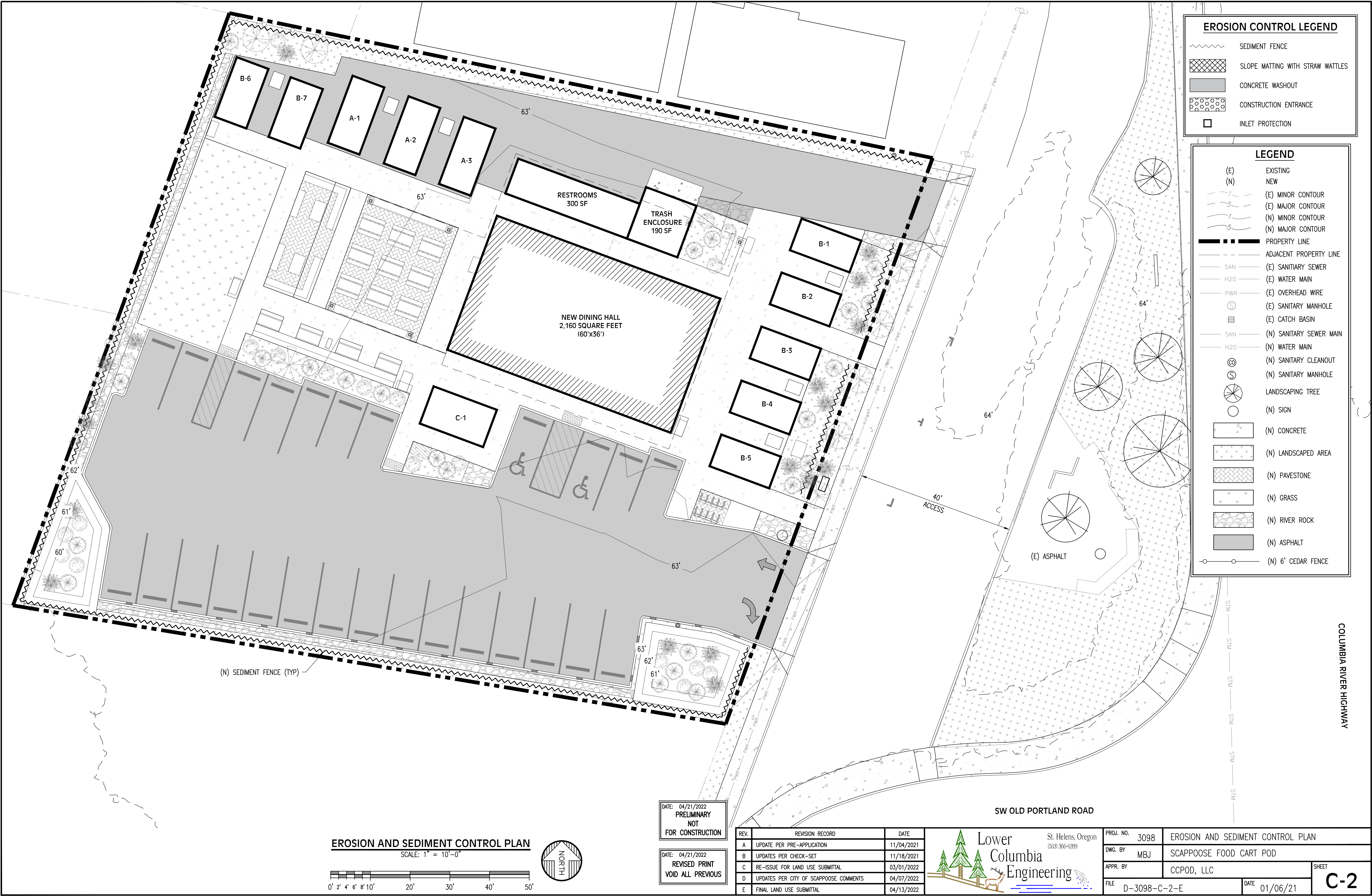
REV.	REVISION RECORD	DATE
A	UPDATE PER PRE-APPLICATION	11/04/2021
B	UPDATES PER CHECK-SET	11/18/2021
C	FIX IMPROPER NORTH ARROW	03/01/2022

Lower
Columbia
Engineering

St. Helens, Oregon
(503) 366-0399

PROJ. NO.	3098	EXISTING CONDITIONS PLAN	
DWG. BY	MBJ	SCAPPOOSE FOOD CART POD	
APPR. BY		CCPOD, LLC	SHEET
FILE	D-3098-C-1-C	DATE	12/17/20

C-1



EROSION CONTROL LEGEND

SEDIMENT FENCE

SLOPE MATTING WITH STRAW WATTLES

CONCRETE WASHOUT

CONSTRUCTION ENTRANCE

INLET PROTECTION

LEGEND

(E)

EXISTING

(N)

NEW

(E) MINOR CONTOUR

(E) MAJOR CONTOUR

(N) MINOR CONTOUR

(N) MAJOR CONTOUR

PROPERTY LINE

ADJACENT PROPERTY LINE

SAN (E) SANITARY SEWER

H2O (E) WATER MAIN

PWR (E) OVERHEAD WIRE

(E) SANITARY MANHOLE

(E) CATCH BASIN

SAN (N) SANITARY SEWER MAIN

H2O (N) WATER MAIN

(N) SANITARY CLEANOUT

(N) SANITARY MANHOLE

LANDSCAPING TREE

(N) SIGN

(N) CONCRETE

(N) LANDSCAPED AREA

(N) PAVESTONE

(N) GRASS

(N) RIVER ROCK

(N) ASPHALT

(N) 6' CEDAR FENCE

EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1" = 10'-0"

0'

2'

4'

6'

8'

10'

20'

30'

40'

50'

NORTH

DATE: 04/21/2022

PRELIMINARY

NOT

FOR CONSTRUCTION

DATE: 04/21/2022

REVISED PRINT

VOID ALL PREVIOUS

REV.	REVISION RECORD	DATE
A	UPDATE PER PRE-APPLICATION	11/04/2021
B	UPDATES PER CHECK-SET	11/18/2021
C	RE-ISSUE FOR LAND USE SUBMITTAL	03/01/2022
D	UPDATES PER CITY OF SCAPPOOSE COMMENTS	04/07/2022
E	FINAL LAND USE SUBMITTAL	04/13/2022

Lower
Columbia
Engineering

St. Helens, Oregon
(503) 366-0399

PROJ. NO.	3098	EROSION AND SEDIMENT CONTROL PLAN
DWG. BY	MBJ	SCAPPOOSE FOOD CART POD
APPR. BY		CCPOD, LLC
FILE	D-3098-C-2-E	DATE 01/06/21

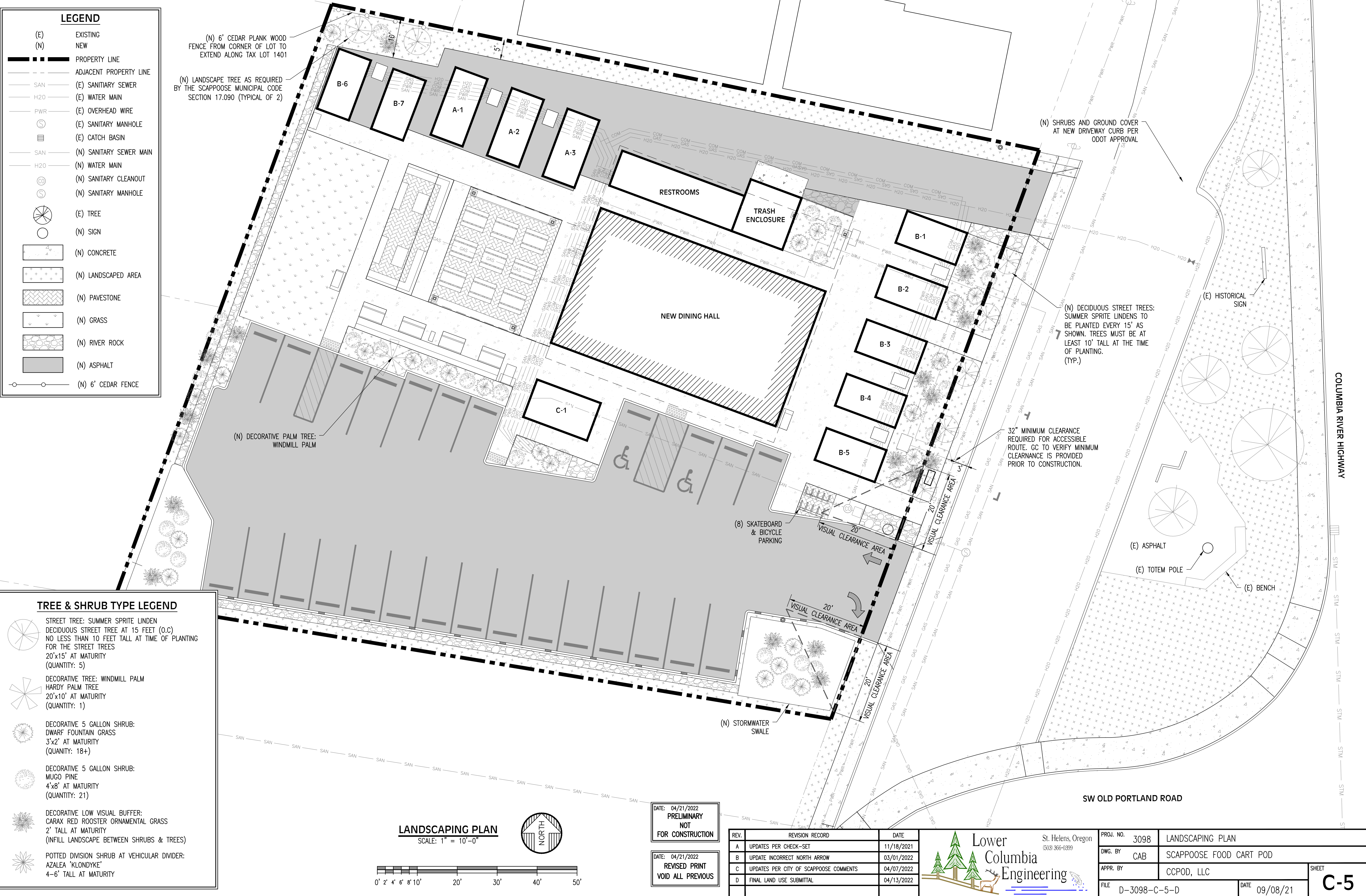
SHEET

C-2

COLUMBIA RIVER HIGHWAY

SW OLD PORTLAND ROAD





LEGEND

(E)
(N)

EXISTING
NEW

PROPERTY LINE
ADJACENT PROPERTY LINE

SAN
H2O
PWR

(E) SANITARY SEWER
(E) WATER MAIN
(E) OVERHEAD WIRE

(E) SANITARY MANHOLE
(E) CATCH BASIN

SAN
H2O

(N) SANITARY SEWER MAIN
(N) WATER MAIN

(N) SANITARY CLEANOUT
(N) SANITARY MANHOLE

(E) TREE
(N) SIGN

(N) CONCRETE
(N) LANDSCAPED AREA

(N) PAVESTONE
(N) GRASS

(N) RIVER ROCK
(N) ASPHALT

(N) 6' CEDAR FENCE

TREE & SHRUB TYPE LEGEND

STREET TREE: SUMMER SPRITE LINDEN
DECIDUOUS STREET TREE AT 15 FEET (0.C)
NO LESS THAN 10 FEET TALL AT TIME OF PLANTING
FOR THE STREET TREES
20'x15' AT MATURITY
(QUANTITY: 5)

DECORATIVE TREE: WINDMILL PALM
HARDY PALM TREE
20'x10' AT MATURITY
(QUANTITY: 1)

DECORATIVE 5 GALLON SHRUB:
DWARF FOUNTAIN GRASS
3'x2' AT MATURITY
(QUANTITY: 18+)

DECORATIVE 5 GALLON SHRUB:
MUGO PINE
4'x8' AT MATURITY
(QUANTITY: 21)

DECORATIVE LOW VISUAL BUFFER:
CARAX RED ROOSTER ORNAMENTAL GRASS
2' TALL AT MATURITY
(INFILL LANDSCAPE BETWEEN SHRUBS & TREES)

POTTED DIVISION SHRUB AT VEHICULAR DIVIDER:
AZALEA 'KLONDYKE'
4-6' TALL AT MATURITY

LANDSCAPING PLAN

SCALE: 1" = 10'-0"

NORTH

0' 2' 4' 6' 8' 10' 20' 30' 40' 50'

DATE: 04/21/2022
PRELIMINARY
NOT
FOR CONSTRUCTION

DATE: 04/21/2022
REVISED PRINT
VOID ALL PREVIOUS

REV.	REVISION RECORD	DATE
A	UPDATES PER CHECK-SET	11/18/2021
B	UPDATE INCORRECT NORTH ARROW	03/01/2022
C	UPDATES PER CITY OF SCAPPOOSE COMMENTS	04/07/2022
D	FINAL LAND USE SUBMITTAL	04/13/2022

Lower
Columbia
Engineering

St. Helens, Oregon
(503) 366-0399

PROJ. NO.	3098	LANDSCAPING PLAN
DWG. BY	CAB	SCAPPOOSE FOOD CART POD
APPR. BY	CCPOD, LLC	SHEET
FILE	D-3098-C-5-D	DATE 09/08/21
		C-5

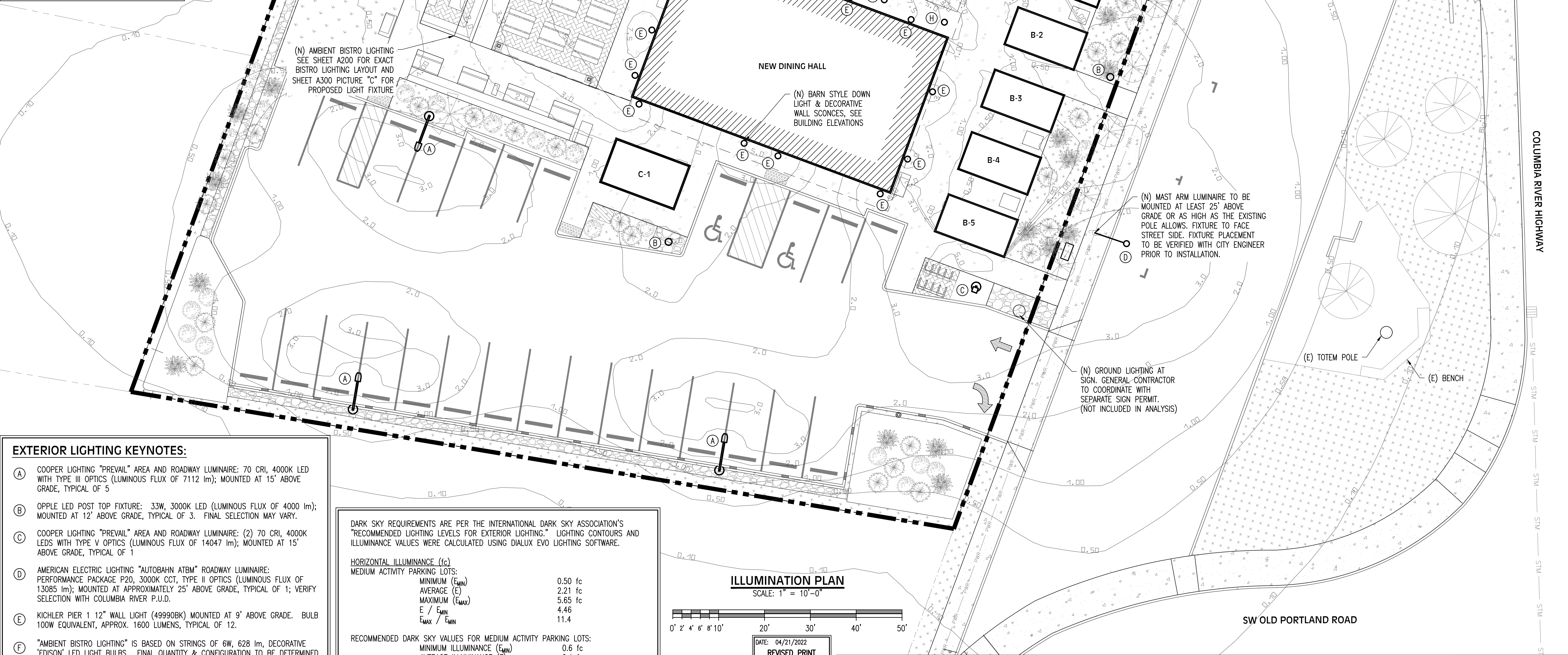
ILLUMINATION LEGEND

(E) EXISTING
(N) NEW

--- PROPERTY LINE
--- ADJACENT PROPERTY LINE

(E) TREE
(N) SIGN

(N) CONCRETE
(N) LANDSCAPED AREA
(N) PAVESTONE
(N) GRASS
(N) RIVER ROCK
(N) 6' CEDAR FENCE



(N) AMBIENT BISTRO LIGHTING
SEE SHEET A200 FOR EXACT
BISTRO LIGHTING LAYOUT AND
SHEET A300 PICTURE "C" FOR
PROPOSED LIGHT FIXTURE

NEW DINING HALL

(N) BARN STYLE DOWN
LIGHT & DECORATIVE
WALL SCONCES, SEE
BUILDING ELEVATIONS

(N) LUMINAIRE POLE
FIXTURE (TYP.)

(E) HISTORICAL
SIGN

(N) MAST ARM LUMINAIRE TO BE
MOUNTED AT LEAST 25' ABOVE
GRADE OR AS HIGH AS THE EXISTING
POLE ALLOWS. FIXTURE TO FACE
STREET SIDE. FIXTURE PLACEMENT
TO BE VERIFIED WITH CITY ENGINEER
PRIOR TO INSTALLATION.

(N) GROUND LIGHTING AT
SIGN. GENERAL CONTRACTOR
TO COORDINATE WITH
SEPARATE SIGN PERMIT.
(NOT INCLUDED IN ANALYSIS)

(E) TOTEM POLE

(E) BENCH

EXTERIOR LIGHTING KEYNOTES:

- (A) COOPER LIGHTING "PREVAIL" AREA AND ROADWAY LUMINAIRE: 70 CRI, 4000K LED WITH TYPE III OPTICS (LUMINOUS FLUX OF 7112 lm); MOUNTED AT 15' ABOVE GRADE, TYPICAL OF 5
- (B) OPPLER LED POST TOP FIXTURE: 33W, 3000K LED (LUMINOUS FLUX OF 4000 lm); MOUNTED AT 12' ABOVE GRADE, TYPICAL OF 3. FINAL SELECTION MAY VARY.
- (C) COOPER LIGHTING "PREVAIL" AREA AND ROADWAY LUMINAIRE: (2) 70 CRI, 4000K LEDS WITH TYPE V OPTICS (LUMINOUS FLUX OF 14047 lm); MOUNTED AT 15' ABOVE GRADE, TYPICAL OF 1
- (D) AMERICAN ELECTRIC LIGHTING "AUTOBAHN ATBM" ROADWAY LUMINAIRE: PERFORMANCE PACKAGE P20, 3000K CCT, TYPE II OPTICS (LUMINOUS FLUX OF 13085 lm); MOUNTED AT APPROXIMATELY 25' ABOVE GRADE, TYPICAL OF 1; VERIFY SELECTION WITH COLUMBIA RIVER P.U.D.
- (E) KICHLER PIER 1 12" WALL LIGHT (49990BK) MOUNTED AT 9' ABOVE GRADE. BULB 100W EQUIVALENT, APPROX. 1600 LUMENS, TYPICAL OF 12.
- (F) "AMBIENT BISTRO LIGHTING" IS BASED ON STRINGS OF 6W, 628 lm, DECORATIVE 'EDISON' LED LIGHT BULBS. FINAL QUANTITY & CONFIGURATION TO BE DETERMINED.
- (G) LITHONIA D-SERIES SIZE 1 WALL LUMINAIRE (DSXW1 LED WITH 10LED), TYPE T2M OPTICS, 3000K, 1349 LUMENS. TYPICAL OF 5.
- (H) KICHLER PIER 1 12" PENDANT LIGHT (49992BK) MOUNTED AT 11'-6" ABOVE GRADE. BULB 100W EQUIVALENT, APPROX. 1600 LUMENS, TYPICAL OF 5.

DARK SKY REQUIREMENTS ARE PER THE INTERNATIONAL DARK SKY ASSOCIATION'S "RECOMMENDED LIGHTING LEVELS FOR EXTERIOR LIGHTING." LIGHTING CONTOURS AND ILLUMINANCE VALUES WERE CALCULATED USING DIALUX EVO LIGHTING SOFTWARE.

HORIZONTAL ILLUMINANCE (fc)

MEDIUM ACTIVITY PARKING LOTS:	
MINIMUM (E _{MIN})	0.50 fc
AVERAGE (E)	2.21 fc
MAXIMUM (E _{MAX})	5.65 fc
E / E _{MIN}	4.46
E _{MAX} / E _{MIN}	11.4

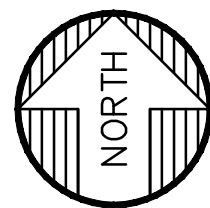
RECOMMENDED DARK SKY VALUES FOR MEDIUM ACTIVITY PARKING LOTS:

MINIMUM ILLUMINANCE (E _{MIN})	0.6 fc
AVERAGE ILLUMINANCE (E)	2.4 fc
UNIFORMITY RATIO (E / E _{MIN})	4/1

SELECTED FIXTURES ARE DARK SKY COMPLIANT. PROVIDE CUT-OFF SHIELDS AT EACH LIGHT FIXTURE AS REQUIRED TO COMPLY WITH I.E.S. AND DARK SKY STANDARDS SUCH THAT NO GLARE SHINES INTO PUBLIC RIGHT-OF-WAYS OR NEARBY RESIDENCES.

ILLUMINATION PLAN

SCALE: 1" = 10'-0"



DATE: 04/21/2022
REVISED PRINT
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A	UPDATES PER CHECK-SET	11/18/2021
B	UPDATE ILLUMINATION PER CITY COMMENTS	03/01/2022
C	UPDATES PER CITY OF SCAPPOOSE COMMENTS	04/07/2022
D	FINAL LAND USE SUBMITTAL	04/13/2022

Lower Columbia Engineering
St. Helens, Oregon
(503) 366-0399

PROJ. NO.	3098	ILLUMINATION PLAN
DWG. BY	CAB	SCAPPOOSE FOOD CART POD
APPR. BY	CCPOD, LLC	
FILE	D-3098-C-6-D	DATE 09/08/21

SHEET
C-6

268.39 FEET OF 8" PVC AT 2.0%
SANTARIY INVERT ELEVATION: 58.37'
(DEPTH IS APPROXIMATE AND IS SUBJECT TO
CHANGE WITH CONSTRUCTION DOCUMENTS ONCE
FINAL ENGINEERING HAS BEEN COMPLETED)

BENCHMARK AND DATUM

- ALL TOPOGRAPHIC INFORMATION WAS COLLECTED UTILIZING A VERTICAL DATUM OF NAVD88.
- BENCHMARK LOCATION DESCRIPTION: IN THE SOUTH PART OF SCAPPOOSE, COLUMBIA COUNTY, ABOUT 100 FEET WEST OF THE COLUMBIA RIVER HIGHWAY, AT THE EAST ENTRANCE TO THE SCAPPOOSE HIGH SCHOOL, IN THE TOP OF THE NORTH END OF THE LOWEST STEP. AN OREGON HIGHWAY DEPARTMENT STANDARD DISK STAMPED 61 X 101 1933.

LEGEND

(E)	EXISTING
(N)	NEW
---	(E) MINOR CONTOUR
---	(E) MAJOR CONTOUR
---	(N) MINOR CONTOUR
---	(N) MAJOR CONTOUR
---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
SAN	(E) SANITARY SEWER
H2O	(E) WATER MAIN
PWR	(E) OVERHEAD WIRE
⊙	(E) SANITARY MANHOLE
⊙	(E) CATCH BASIN
SAN	(N) SANITARY SEWER MAIN
H2O	(N) WATER MAIN
⊙	(N) SANITARY CLEANOUT
⊙	(N) SANITARY MANHOLE
→	DRAINAGE FLOW ARROW
✱	LANDSCAPING TREE
○	(N) SIGN
□	(N) CONCRETE
□	(N) LANDSCAPED AREA
□	(N) PAVESTONE
□	(N) GRASS
□	(N) RIVER ROCK
□	(N) ASPHALT
○	(N) 6' CEDAR FENCE
□	(N) PUBLIC UTILITY EASEMENT

COLUMBIA RIVER HIGHWAY

(E) CATCH BASIN

(E) 12" STORM LINE

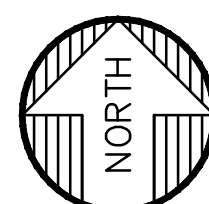
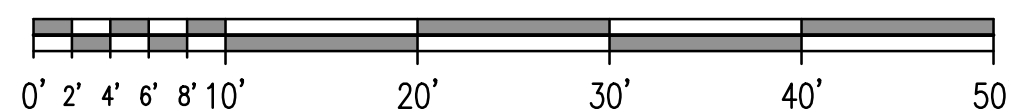
SW OLD PORTLAND ROAD

NOTE

LANDSCAPING NOT SHOWN ON THIS PLAN. SEE SHEET C-5 FOR LANDSCAPING PLAN

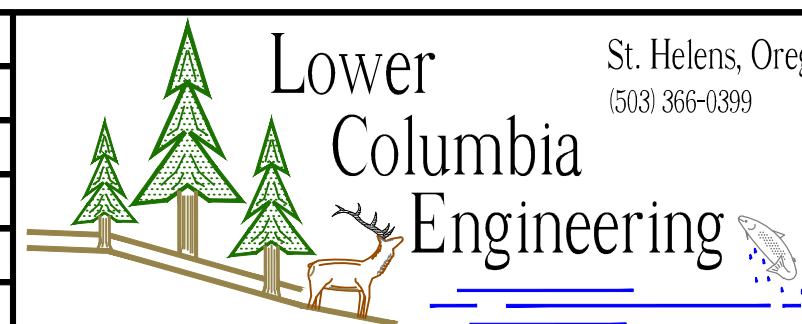
UTILITY PLAN

SCALE: 1"=10'

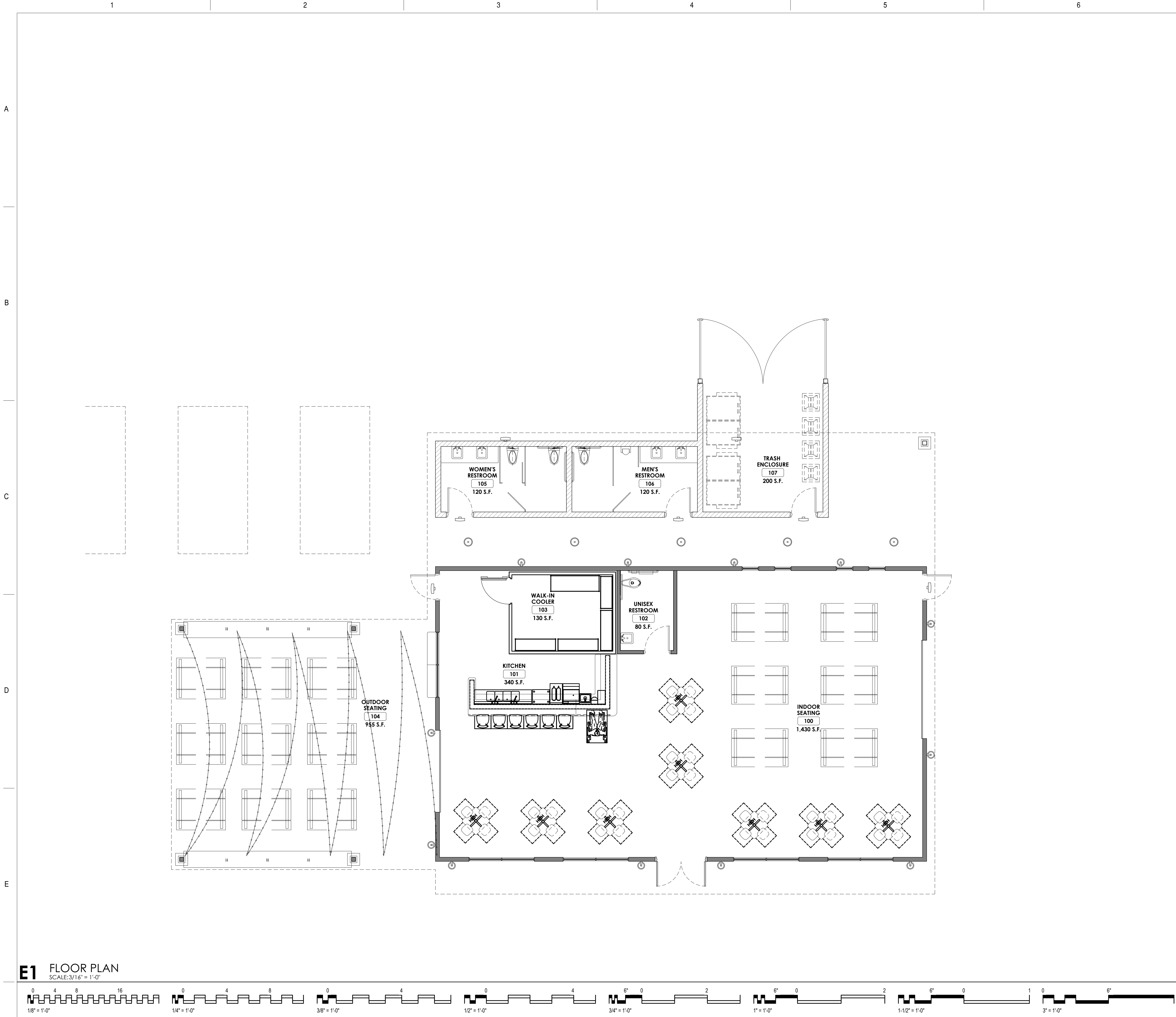


DATE: 05/19/2022
PRELIMINARY
NOT
FOR CONSTRUCTION

REV.	REVISION RECORD	DATE
A	COMMENTS RECEIVED FROM CITY OF SCAPPOOSE	05/19/2022

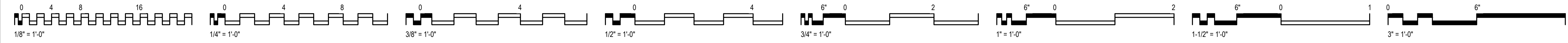


PROJ. NO.	3098	UTILITY PLAN
DWG. BY	MBJ	SCAPPOOSE FOOD CART POD
APPR. BY	CCPOD, LLC	SHEET
FILE	D-3098-C-7-A	DATE 04/07/2022
		C-7



E1 FLOOR PLAN

SCALE: 3/16" = 1'-0"



SHEET NOTES



SCAPOOSE FOOD CART POD

51875 COLUMBIA RIVER HWY
SCAPOOSE, OR 97056

CCPOD, LLC

51875 SW OLD PORTLAND RD.
SCAPOOSE, OR 97056

project number	21-26
date	00/00/00
revisions	

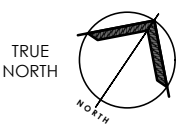
KEY NOTES



FLOOR PLAN

sheet number

A200



A

B

C

D

E



(A)



(B)



(C)

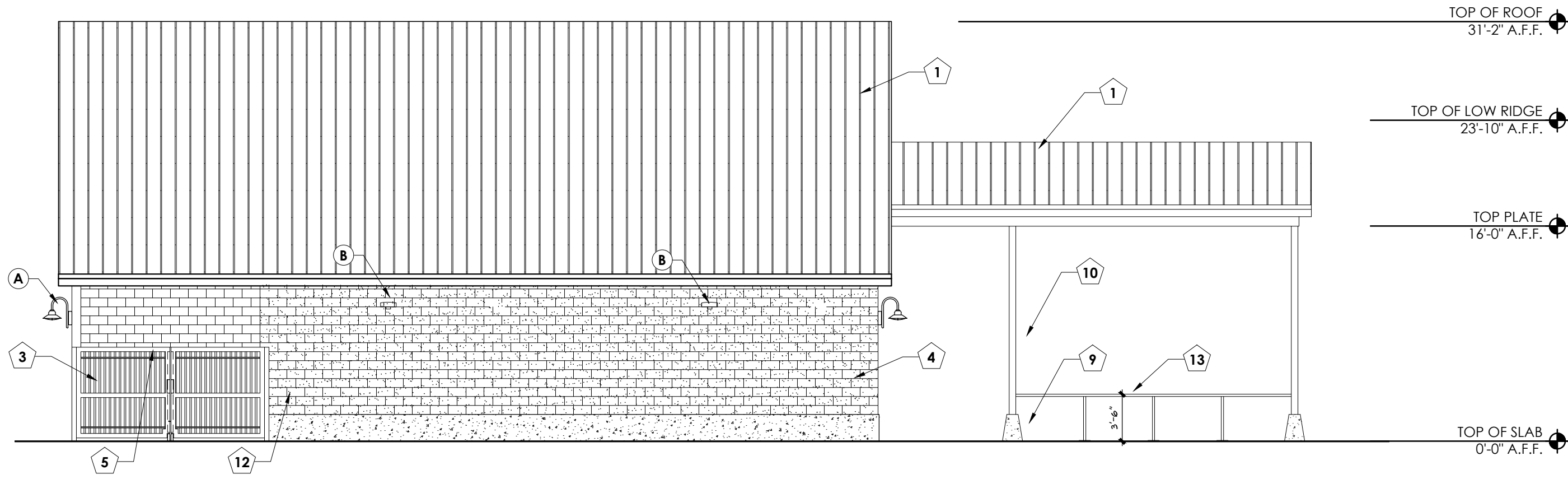


(D)

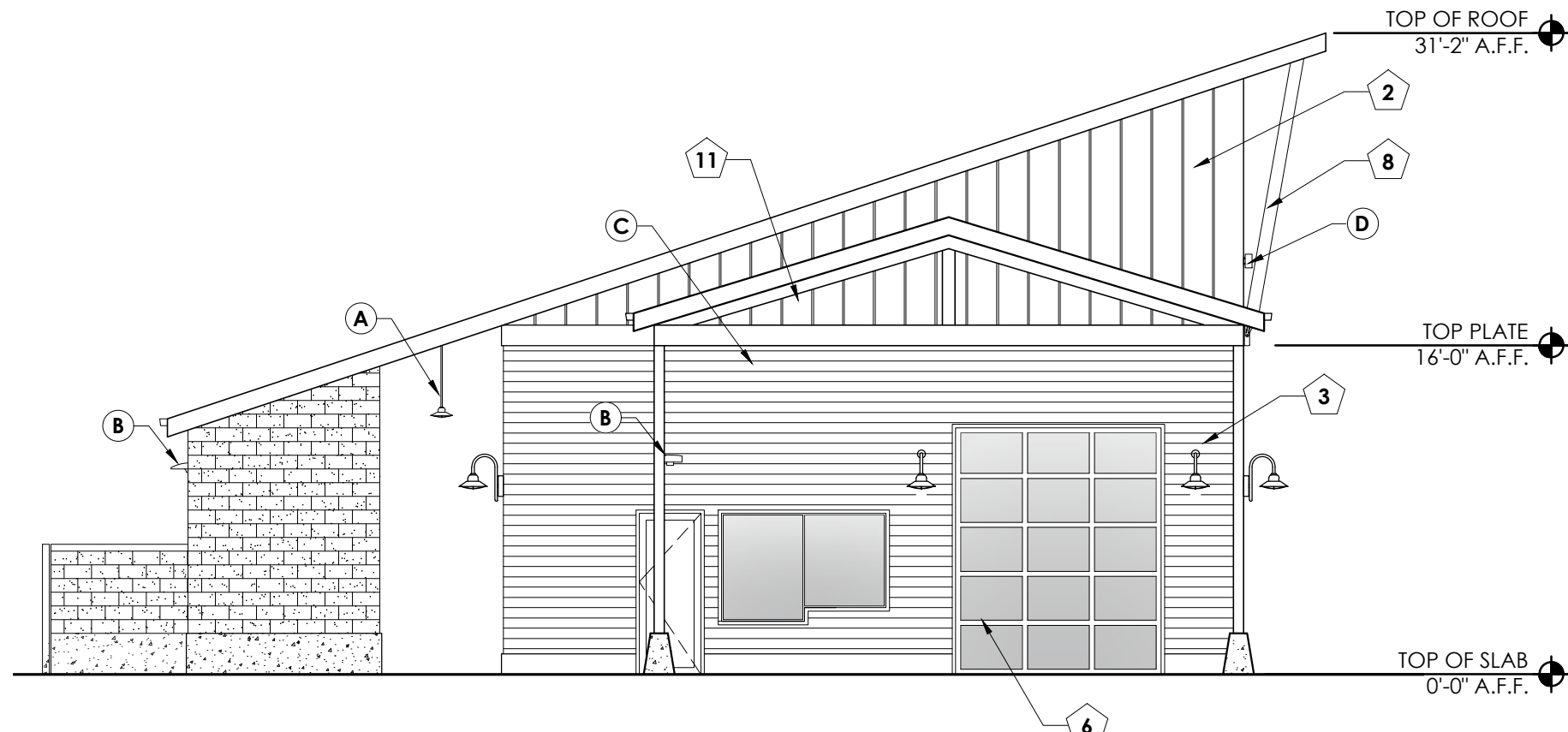
A1 PROPOSED LED LIGHT FIXTURES (FIXTURES SHOWN ARE REPRESENTATIVE OF GENERAL STYLE ONLY; FINAL FIXTURE SELECTION MAY VARY DEPENDING ON AVAILABILITY AND COST)
SCALE: NTS



CONCEPTUAL RENDERING



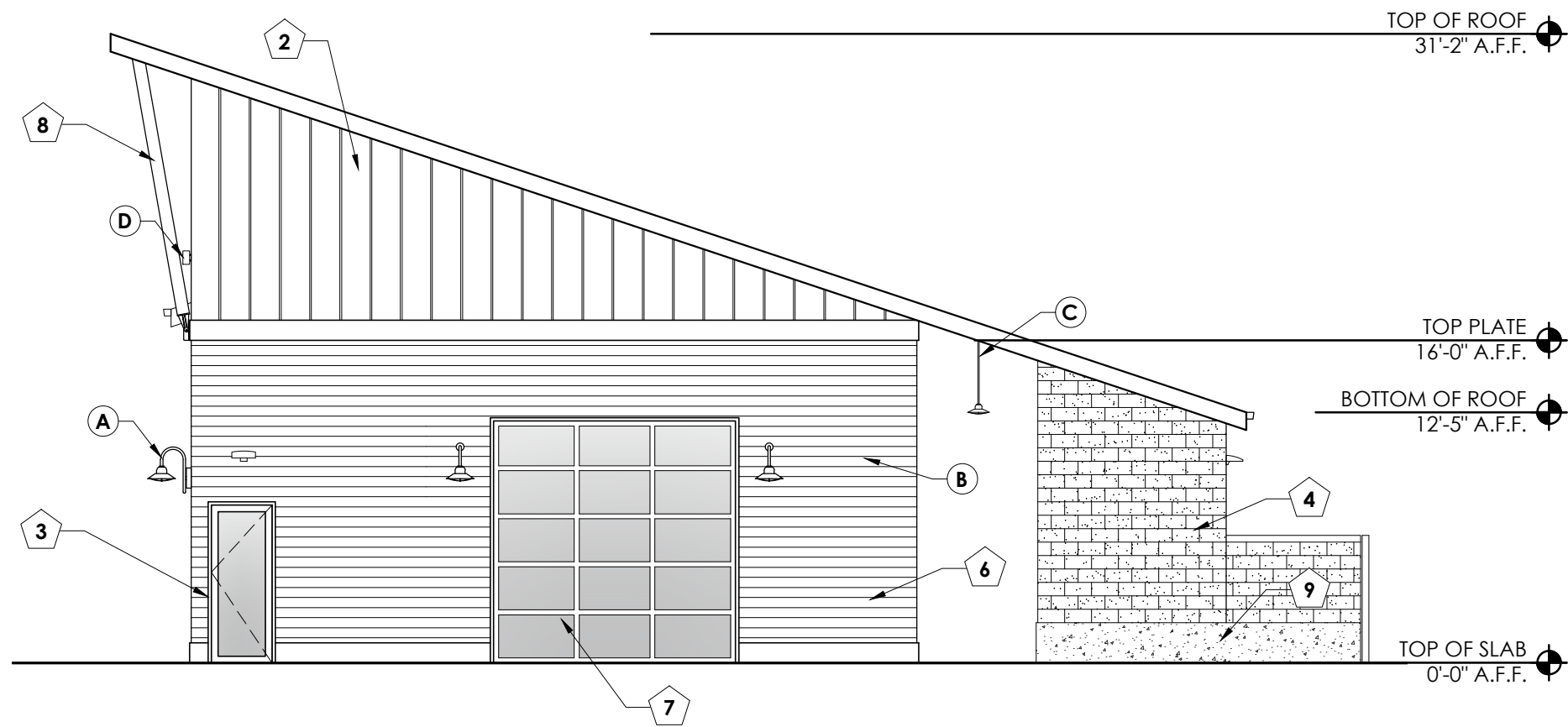
C1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



C5 WEST ELEVATION
SCALE: 1/8" = 1'-0"



E1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



E5 EAST ELEVATION
SCALE: 1/8" = 1'-0"



SHEET NOTES



SCAPPOOSE FOOD CART POD

51875 COLUMBIA RIVER HWY
SCAPPOOSE, OR 97056

CCPOD, LLC
51875 SW OLD PORTLAND RD.
SCAPPOOSE, OR 97056

project number 21-26
date 00/00/00

revisions

KEY NOTES

1

PROPOSED EXTERIOR FINISHES

- 1 STANDING SEAM METAL ROOFING
- 2 BOARD & BATTEN FIBER CEMENT SIDING
- 3 HORIZONTAL FIBER CEMENT SIDING
- 4 PAINTED CMU
- 5 VINYL CLAD WINDOWS
- 6 ALUMINUM STOREFRONT SYSTEM
- 7 GLASS OVERHEAD DOORS
- 8 PAINTED WOOD BRACES
- 9 EXPOSED CONCRETE BASE
- 10 PAINTED WOOD COLUMNS
- 11 PAINTED EXPOSED WOOD TRUSSES
- 12 TRASH ENCLOSURE STEEL GATE AND SCREEN
- 13 DRINK RAIL

PRELIMINARY
ELEVATIONS

sheet number

A300





SCAPPOOSE
Oregon

**Scappoose Urban Renewal Agency
New Development Grant Program
Completeness Review**

Healthy Smiles – JAW Ventures LLC

Requirements:

Conceptual Design

☒ Yes ☐ No

Application and signatures

☒ Yes ☐ No

Permission from owner, if applicable

☐ Yes ☐ No ☒ Not Applicable

Project Cost/Budget

☒ Yes ☐ No

Detailed Project Description

☒ Yes ☐ No

Statement on match funding

☒ Yes ☐ No

Materials spec. board or detailed description of materials

☒ Yes ☐ No

Construction Schedule or similar

☒ Yes ☐ No

Other information from guidelines, or as requested

☒ Yes ☐ No



Scappoose New Development Grant Program Application

APPLICANT INFORMATION

Name: Williams Kendall + Mike R + A
Last First M.I.

Address: 33629 Mazour Drive
Street Address Apartment/Unit #

Warren OR 97053
City State ZIP Code

Phone: (503) 410-9303 Email: Kendall@healthy.smiles.scappoose.com

Tax ID Number: 85-2058020

BUILDING/BUSINESS/PROPERTY TO BE IMPROVED

Name: JAW Ventures LLC
Last First M.I.

Address: ~~51701~~ 52539 NE 3rd St + 52553 NE Prairie St
Street Address Apartment/Unit #

Scappoose OR 97056
City State ZIP Code

Property Tax Account Number: R- 3393, 3392

OWNER OF PROPERTY (IF NOT APPLICANT)

Name: _____
Last First M.I.

Address: _____
Street Address Apartment/Unit #

City State ZIP Code

Phone Number: () _____

LAND USE

Has the applicant attended a pre-application conference for this project? Y / N

Has the applicant submitted for land use approval? If not, when would the applicant expect to do so? Y / N

DESCRIPTION OF PROPOSED NEW DEVELOPMENT ACTIVITIES:

JAW Ventures will be building a commercial dental building to house the business of Healthy Smiles of Seapoose. With the new building more services will be able to be provided and will add at least 4 new full-time jobs in the first year, and plans for additional specialties to have a place for a satellite office.

ESTIMATED COST OF PROPOSED NEW DEVELOPMENT ACTIVITIES: \$ 3,000,000

JAW Ventures has applied for another grant through Business Oregon for the Small Business Sustainability Fund for \$75,000. The other funds will be becoming out of our personal funds as a loan.



STATEMENT OF UNDERSTANDING

The applicant understands that the City of Scappoose must approve the proposed new development activities. Certain changes or modifications may be required by the City prior to final approval. Any work commenced prior to a commitment letter issuance will not be eligible for reimbursement, and any work deviating from approved work must be pre-approved by the City of Scappoose to be eligible for reimbursement.

SUBMITTAL REQUIREMENTS

- Preliminary conceptual design of the proposed new development activities. This can be a photograph with marked changes, architectural drawing, plans, etc.
- Application (including signature and Federal Tax ID number)
- Written permission for improvements from property owner, if you are not the owner
- Estimated project cost/budget and detailed project description
- Statement on source of private match funding
- A materials spec. board or detailed description of materials
- Construction schedule for the project
- Other required information outlined in the program guidelines, as requested

CERTIFICATION BY APPLICANT

The applicant certifies that all information in this application and all information furnished in support of this application is given for the purpose of obtaining a grant and is true and complete to the best of the applicant's knowledge and belief.

If the applicant is not the owner of the property to be developed or if the applicant is not the sole owner of the property, the applicant certifies he/she has the authority to sign and enter into an agreement for development on the property. Evidence of this authority must be attached.

Verification of any of the information contained in this application may be obtained by the City of Scappoose from any available source.

A handwritten signature in blue ink, consisting of a stylized 'X' followed by a loop.

Applicant Signature

A handwritten date in blue ink, "Aug 19, 2022".

Date

PLEASE RETURN APPLICATION AND REQUIRED INFORMATION TO:

The City of Scappoose Community Development Center
52610 NE 1st St., Suite 120 (if delivered in person)
35568 E Columbia Ave. (if mailed)
Scappoose, Oregon 97056
503-543-7184

PRELIMINARY BUDGET MEMO



To: Dr. Kendall Liday
From: Seth Kiser & Mark Enger
Date: 5.18.2021
Prj. No. 4339
Re: New Scappoose Building
Pricing Based On: BBL Schematic plans dated 4/26/21 & 11/10/20 and TM Rippey Schematic plans dated 4/26/21 and as outlined below.

Thank you for allowing us to provide pricing for your project. Should you have any questions or issues, please call Seth Kiser @ (503) 888-5442 or Mark Enger @ (503) 710-0567.

CONSTRUCTION ITEMS:	AMOUNT
Sitework	\$271,100
Demo house, excavate & rock site, storm including underground chamber, foundation & rain drains, sewer, water line w/ RP, fire service with vault, electric service trench & gas trench	
Construction Surveying	\$7,500
Asphalt	\$23,950
Parking lot asphalt	
Striping/Parking Lot Signage/Wheel Stops	\$2,500
Landscape Allowance	\$22,150
Landscape, Irrigation and top soil 12" thick at landscape beds & 6" at lawn. Budget based on landscape plan L1 A.	
Retaining Walls & Pavers	\$3,550
Keystone Retaining walls @ south side of building.	
Site Concrete and curbs	\$40,800
(2) Driveway approaches, sidewalks and curbs on site plus trash enclosure pad. See alternate for off site work below.	
Building Concrete, Vapor Barrier & Rebar	\$62,650
Slab on grade with thickened edge footings. Includes rebar & associated concrete costs.	
Masonry & Weather Barrier	\$40,100
Brick veneer on building with "Eldorado Stacked Stone Nantucket" or similar with natural color mortar and CMU block trash enclosure with brick veneer to match building. Includes Hydrotex fluid applied weather barrier behind stone on building and stone sill materials.	
Steel Fabrication	\$15,000
Trash gate, handrails and allowance for misc. framing hardware.	
Rough Carpentry - Building Framing	\$171,100
Wood framing building shell & structural walls including roof truss package and I-joists for 2nd floor. Includes wood framed stair. Also includes interior blocking for doors, cabinets,	
Lap Siding & Weather Barrier	\$39,200
Furnish and install James Hardie cement board and batten siding with Weathersmart Commercial weather barrier or similar.	

Insulation, Vapor Barrier & Caulking
\$17,550

Includes R49 insulation with vapor barrier at ceiling with baffle eaves and foam sealant, R21 and vapor barrier at exterior walls, R30 in floor joist bays R13 acoustic insulation at interior walls and R19 under 2nd floor.

Roofing
\$18,900

Furnish and install new IKO Biltmore architectural comp shingle roof with 30# felt underlayment & flashings for gutters, downspouts and all misc. flashings including window flashings.

Doors & Windows
\$53,850

Furnish and install hollow metal doors/frames for exterior doors and Timely frames with prefinished wood doors for interior doors. Includes allowance of \$2,000 per opening for (9) barn doors at operatories.

Glass & Glazing
\$58,850

Kawneer storefront system for all windows & (1) pair of entry doors.

Interior Framing, Drywall & Ceilings
\$108,350

All interior walls assumed as metal stud framing and drywall. Also includes drywall ceilings at restrooms, soffit above reception and ceiling grid with Micro Sand ceiling tiles at other ceiling areas.

Flooring
\$36,500

Allowance for flooring throughout

Painting & Brick Seal
\$33,300

Paint exterior board/batten siding, hollow metal doors and all interior drywall.

Accessories
\$5,850

Restroom Accessories, Knox box for fire dept. & bike rack

Cabinetry
\$59,000

Furnish and install plastic laminate cabinets and counters for the following locations: Reception 105 with quartz transaction counter puls check out & refreshment cabinets/counters, Business office 106, Business Manager 107, lower cabinet for computer outside Imaging 110, staff room 112A, Lab 121A including shelves in 121B and breakroom 203. Assuming Sterile, head walls and side cabinets in operatories are by Henry Schein with plumbing connections by Norwest.

Window Coverings
\$4,900

Furnish and install (28) exterior window shades with 3% openness in S300 fabric with color TBD.

Plumbing
\$80,550

General Plumbing: Building main sewer and water lines inside building, (3) restrooms, (1) fiberglass shower, (2) breakroom fixtures, washing machine hook up, mop sink and water heater with recirc pump. Dental Plumbing: connections to operatory sinks provided by Schein, connections to sterile fixtures provided by Schein, provide & install lab sink with eyewash. Provide and install air & vac to each operatory headwall, air to each operatory chair, air & vac to Sterile and air to lab. Includes medgas allowance for nitrous to head wall of each op with manifolds, outlets, etc. by your equipment provider and installed by us.

HVAC
\$75,000

Furnish and install (12) tons of HVAC with split systems in attic and A/C outdoor units. Includes all ducting, stats, comfort balance, grilles, etc. Provide (8) exhaust fans, (1) explosion proof fan for med gas and (1) fan with thermostat for mechanical room as well as

Fire Sprinklers
\$28,750

Provide interior fire sprinkler coverage to meet code.

Electrical
\$105,550

Includes 400A 120/208v service outside @ NW corner of building and panels inside.
 Provide general purpose power and power to operatories headwalls/chairs/side cabinets as well as pano, compressor, vac as well as power for HVAC & plumbing items noted above. Includes wiring for med gas. Allowance for lighting including typ. commercial LED light fixtures at interior & exterior and allowances to upgrade fixtures at reception and restroom vanities. Includes power in fire sprinkler vault and for water backflow freeze

Fire Alarm
\$9,250

Fire alarm system for fire sprinkler monitoring per code.

Phone/Data Cabling
\$11,900

Allowance for phone/data cabling.

Speaker system
\$9,000

Provide speakers at each op, in hall outside ops and in waiting. Includes Sonos One at IT closet.

Finishes Allowance
\$40,000

Allowance for TBD finish upgrades over standard materials.

General Conditions
\$97,943

Project management, temp utilities, office/storage, temp cover, dewatering, temp lights, minor traffic control, equipment, tools, safety, general clean, final clean inside/out & drop

Supervision
\$91,800

Site Superintendent

CONSTRUCTION SUBTOTAL =	\$1,646,392
OVERHEAD & PROFIT (7.5%) =	\$123,479
GL INSURANCE (0.1%) =	\$17,699
CAT TAX =	\$10,189
CONSTRUCTION TOTAL =	\$1,797,760

ALTERNATES:

1	Offsite (excavation, water main in 3rd, storm water with drywells, paving, sidewalks, street landscaping, striping, traffic control; CIVIL DESIGN/FEES NOT INCLUDED)	\$218,125
2	Building Security Alarm System	\$6,785
3	Access control system (3 doors)	\$10,465
4	Provide operable windows @ 2nd floor	\$5,031

OWNER ITEMS/SOFT COSTS/EXCLUSIONS:

- 1 Permits and fees paid to city including any plumbing connection fees.
- 2 Architectural, Finishes, Landscape, structural, civil design, geotech fees.
- 3 Letter of Credit or performance/payment bond for work in city property
- 4 Construction Testing/Special Inspections
- 5 Property Line Adjustment/Partitioning/Easements - Civil & City fees
- 6 Builders Risk Insurance
- 7 Relocation/Moving, Furnishings, Appliances, Equipment, IT, Phones, Servers
- 8 Interior and Exterior Signage
- 9 Off-site upgrades required by City not shown on plans
- 10 Decommission of existing septic systems, tanks, wells
- 11 Wet Weather Construction - assuming not necessary
- 12 Rock or boulder excavation and removal
- 13 Asbestos abatement in existing house not included.
- 14 Remediation of concrete slab moisture or PH level, if needed
- 15 Non standard working hours
- 16 Material escalation, shortages & tariffs - including wood price fluctuations
Construction Contingency - recommend keeping \$165,000 contingency from 3/19/20 until
plans are more complete
- 17



BBL ARCHITECTS

ARCHITECTURE ■ PLANNING ■ INTERIOR DESIGN

JAW Ventures LLC
33629 Mazour Drive
Warren, OR 97053
Dr. Kendall Williams

Invoice number 2000301022
Date 08/18/2022

Project **20003.01.L Healthy Smiles of
Scappoose New Building**

Professional Services rendered through August 15, 2022

Invoice Summary

Description	Contract Amount	Prior Billed	Total Billed	Remaining	Current Billed
Architectural Services	88,940.00	65,438.15	74,798.15	14,141.85	9,360.00
TM Rippey - Civil	60,491.60	18,227.20	18,227.20	42,264.40	0.00
TM Rippey - Structural	15,912.00	509.60	509.60	15,402.40	0.00
Joyce Jackson - Landscape	9,117.68	1,560.00	1,560.00	7,557.68	0.00
Joyce Jackson - Land Use	3,987.36	2,600.00	2,600.00	1,387.36	0.00
Direct Project Expenses	2,000.00	326.28	478.28	1,521.72	152.00
Total	180,448.64	88,661.23	98,173.23	82,275.41	9,512.00

Invoice total **9,512.00**

Federal ID No. 93-0725514; Oregon WBE Certified #9672

Please remit payment via Electronic Funds Transfer (EFT) to the firm's account: Account #80009949993 Routing #321081669. If you are unable to remit electronically, please send checks to: BBL Architects – 1750 Blankenship Rd. West Linn, OR 97068. Please contact christine@bblarchitects.com regarding missing or held invoices. Thank you!

QUOTE#

202207262250002



DENTAL

135 Duryea Road, Melville, New York 11747
(800) 645-6594

Bill To: Healthy Smiles Of Scappoose				City: Scappoose		State: OR		Zip: 97056	
Address: 33640 E Columbia Ave				Phone: 5035434949		Fax: 5035434949			
City: Scappoose		State: OR		Zip: 97056		New Acct:		Existing Acct:	
Deliver To: Healthy Smiles Of Scappoose				Henry Schein Dental					
Phone: 5035434949									
Fax:				City:		State:		Zip:	
Email:				Phone: (503) 896-6606			Fax:		

Qty	Manufacturer	Item Code	Description	Retail Price	Price	Total
MEDICAL GAS:						
1	PORTER	553-0408	Vanguard Manifd Syst/N.W	\$6,772.00	\$4,797.00	\$4,797.00
11	PORTER	553-3575	MXR-1 Rear Flx/AVS QD No	\$5,492.00	\$3,891.00	\$42,801.00
11	PORTER	553-9165	Supply Gas Piping w/DISS	\$334.04	\$223.00	\$2,453.00
11	PORTER	553-2036	Slide-Away Assy.W/Bag Tee	\$577.66	\$385.00	\$4,235.00
AMALGAM SEPARATOR:						
1	SOLMET	177-0057	Amal Sep High Volume	\$3,124.00	\$2,657.00	\$2,657.00
STERILIZATION:						
1	SCICAN		Hydrim G4 Lg.Instru.Washer	\$12,071.39	\$10,090.00	\$10,090.00
X-RAY (INTRA & SENSOR):						
7	MIDMAK	606-6165	XR,Preva DC,76In,Dbl Std	\$6,820.00	\$5,218.00	\$36,526.00
CAMERAS:						
3	ACTEOC	621-0238	Mini Dock USB 2.0	\$361.00	\$306.00	\$918.00
3D:						
1	IMGSCI	773-5669	i-CAT FLX (V17)	\$139,995.00	\$119,215.00	\$119,215.00
Includes A-dec High Volume Discount						
Inspire Treatment Console						
11	ADEC	492-9377	Fndtn Prc,591.42In Console	\$18,480.00	\$12,833.00	\$141,163.00
11	ADEC	492-9544	SB1003,Sub-Base f/Cab MT,			
11	ADEC	492-9525	DB1102,5 IN,7.5 IN,10 IN			
11	ADEC	492-9523	DR1203,CPU Strg			
11	ADEC	492-9531	DR1002,Bi-Fld,Side-Opn,2X			
11	ADEC	492-9541	WA1001,Wall,2X Fltg Shlvs			
11	ADEC	492-9601	591,Monitor MT			



DENTAL

135 Duryea Road, Melville, New York 11747
(800) 645-6594

QUOTE#

202207262250002

Bill To: Healthy Smiles Of Scappoose				City: Scappoose		State: OR		Zip: 97056	
Address: 33640 E Columbia Ave				Phone: 5035434949		Fax: 5035434949			
City: Scappoose		State: OR		Zip: 97056		New Acct:		Existing Acct:	
Deliver To: Healthy Smiles Of Scappoose				Henry Schein Dental					
Phone: 5035434949									
Fax:				City:		State:		Zip:	
Email:				Phone: (503) 896-6606		Fax:			

Qty	Manufacturer	Item Code	Description	Retail Price	Price	Total
11	ADEC	492-9511	UP1010,Non-Pass Thru,Wood			
11	ADEC	492-9522	CQ1001,42 IN,Qtz Ctop			
			545,12 O'Clock ASST INSTM	\$5,912.00	\$4,107.00	\$45,177.00
11	ADEC	492-9049	Fndtn,545 ASST INSTM,Sgl			
11	ADEC	492-9234	Ctop-Quartz 541/545			
11	ADEC	493-0803	Strd Tray Hldr Assy 541B/			
11	ADEC	492-8519	Air/Wtr QD,500			
11	ADEC	492-8691	Kit,Pwr Supply Connector			
11	ADEC	492-8526	Asst Touchpad,Std,500			
11	ADEC	493-0636	HVE,Adtl,11mm			
			Inspire Side Console	\$9,165.00	\$6,365.00	\$70,015.00
11	ADEC	492-9390	Fndtn Prc,593.56In L Console			
11	ADEC	493-0513	593L Curved Left Endcap			
11	ADEC	493-0514	593L Curved Right Endcap			
11	ADEC	493-0125	Dispenser,Soap/Sanitizer			
11	ADEC	492-9549	DR3202,Door Strg,Sharps			
11	ADEC	492-9436	DB3003,5,5,7.5,10 IN DWR			
11	ADEC	492-9404	CQ3012,Qtz Ctop,Lwr,Und			
			Inspire Side Console	\$8,975.00	\$6,233.00	\$68,563.00
11	ADEC	492-9390	Fndtn Prc,593.56In L Console			
11	ADEC	493-0513	593L Curved Left Endcap			
11	ADEC	493-0514	593L Curved Right Endcap			
11	ADEC	493-0125	Dispenser,Soap/Sanitizer			
11	ADEC	492-9436	DB3003,5,5,7.5,10 IN DWR			
11	ADEC	492-9404	CQ3012,Qtz Ctop,Lwr,Und			
			Inspire Wall-Mounted Cabinet	\$3,525.00	\$2,448.00	\$19,584.00
8	ADEC	493-0545	595 Curved Left Endcap			



DENTAL

135 Duryea Road, Melville, New York 11747
(800) 645-6594

QUOTE#

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Address: 33640 E Columbia Ave				Phone: 5035434949		Fax: 5035434949			
City: Scappoose		State: OR		Zip: 97056		New Acct:		Existing Acct:	
Deliver To: Healthy Smiles Of Scappoose				Henry Schein Dental					
Phone: 5035434949									
Fax:				City:		State:		Zip:	
Email:				Phone: (503) 896-6606			Fax:		

Qty	Manufacturer	Item Code	Description	Retail Price	Price	Total
8	ADEC	493-0546	595 Curved Right Endcap			
8	ADEC	492-9450	DS5002,Disp,2X G/M/C/T			
8	ADEC	492-9505	UP5002,Upr Strg,Wood Door			
			Inspire Wall-Mounted Cabinet	\$2,060.00	\$1,431.00	\$11,448.00
8	ADEC	493-0545	595 Curved Left Endcap			
8	ADEC	493-0546	595 Curved Right Endcap			
8	ADEC	492-9450	DS5002,Disp,2X G/M/C/T			
			Inspire Wall-Mounted Cabinet	\$2,060.00	\$1,431.00	\$2,862.00
2	ADEC	493-0545	595 Curved Left Endcap			
2	ADEC	493-0546	595 Curved Right Endcap			
2	ADEC	492-9450	DS5002,Disp,2X G/M/C/T			
			Inspire Wall-Mounted Cabinet	\$2,060.00	\$1,431.00	\$1,431.00
1	ADEC	493-0545	595 Curved Left Endcap			
1	ADEC	493-0546	595 Curved Right Endcap			
1	ADEC	492-9450	DS5002,Disp,2X G/M/C/T			
			A-dec 511 Chair	\$18,400.00	\$12,774.00	\$140,514.00
11	ADEC	493-0361	Opt,Fndtn Price,511B,No			
11	ADEC	492-8730	Sewn Upholstery			
11	ADEC	492-8550	Floor Box,Ctrd,511/311B			
			A-dec 533 Continental Delivery System	\$29,505.00	\$20,487.00	\$122,922.00
6	ADEC	493-0363	Opt,Fndtn,533B Radius,Dlx			
6	ADEC	493-0356	Opt,Tray Hldr,Btm Mt,Strd			
6	ADEC	493-1006	SS Trays Two Std SST			
6	ADEC	493-0820	EMC-703 Ctrl Mod Intgrtd			
6	ADEC	493-0338	Opt,Hub,USB Pwr,5XXB			
6	ADEC	493-0819	KaVo Tbg Electric Mtr Med			



DENTAL

135 Duryea Road, Melville, New York 11747
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Bill To: Healthy Smiles Of Scappoose			City: Scappoose		State: OR		Zip: 97056		
Address: 33640 E Columbia Ave			Phone: 5035434949		Fax: 5035434949				
City: Scappoose		State: OR		Zip: 97056		New Acct:		Existing Acct:	
Deliver To: Healthy Smiles Of Scappoose			Henry Schein Dental						
Phone: 5035434949									
Fax:			City:		State:			Zip:	
Email:			Phone: (503) 896-6606			Fax:			

Qty	Manufacturer	Item Code	Description	Retail Price	Price	Total
6	ADEC	493-0819	KaVo Tbg Electric Mtr Med			
6	ADEC	492-9141	pos[0],4-Hole Tubing			
6	ADEC	493-1005	Cav W/Sterimate 360 Ultra			
6	ADEC	492-9173	USB2 Camera Mini Dock			
			A-dec 533 Continental Delivery System	\$25,970.00	\$18,033.00	\$90,165.00
5	ADEC	493-0363	Opt,Fndtn,533B Radius,Dlx			
5	ADEC	493-0356	Opt,Tray Hldr,Btm Mt,Strd			
5	ADEC	493-1006	SS Trays Two Std SST			
5	ADEC	493-0820	EMC-703 Ctrl Mod Intgrtd			
5	ADEC	493-0338	Opt,Hub,USB Pwr,5XXB			
5	ADEC	493-0819	KaVo Tbg Electric Mtr Med			
5	ADEC	493-0819	KaVo Tbg Electric Mtr Med			
5	ADEC	492-9141	pos[0],4-Hole Tubing			
5	ADEC	492-9173	USB2 Camera Mini Dock			
			A-dec 575L LED Dental Light, Wall/Side Ca	\$6,495.00	\$4,509.00	\$36,072.00
8	ADEC	492-9098	Fndtn,575 LED Lt Wall Mt			
			A-dec 577L LED Dental Light, Track Mt	\$7,085.00	\$4,919.00	\$14,757.00
3	ADEC	492-9100	Fndtn Price,577 LED Track			
			A-dec 521 Doctor's Stool	\$1,730.00	\$1,201.00	\$13,211.00
11	ADEC	492-9121	Foundation Price- 521			
			A-dec 522 Asst Stool	\$1,910.00	\$1,326.00	\$14,586.00
11	ADEC	492-9122	Foundation Price- 522			
			Inspire Sterilization Center	\$37,640.00	\$26,134.00	\$26,134.00
1	ADEC	493-0266	Disp,Soap and Sanitizer			
1	ADEC	493-0238	594,140 IN STERI CNTR			



HENRY SCHEIN®

DENTAL
135 Duryea Road, Melville, New York 11747
(800) 645-6594

QUOTE#

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Address: 33640 E Columbia Ave			Phone: 5035434949		Fax: 5035434949			
City: Scappoose		State: OR	Zip: 97056	New Acct:		Existing Acct:		
Deliver To: Healthy Smiles Of Scappoose			Henry Schein Dental					
Phone: 5035434949								
Fax:			City:		State:		Zip:	
Email:			Phone: (503) 896-6606			Fax:		

Qty	Manufacturer	Item Code	Description	Retail Price	Price	Total
1	ADEC	493-0231	DR4003,Trash Drop			
1	ADEC	493-0228	SK4007,Snk W/Trsh,HVE&Syr			
1	ADEC	493-0114	Drwrs,DB4006,Prep/Pk,5/5/			
1	ADEC	492-9564	TW4103,Sterile Strg,Alum			
1	ADEC	493-0230	EC4005,Full Flat Endcap			
1	ADEC	492-9413	CQ4003,98 IN,Qtz Ctop,Und			
1	ADEC	493-0874	Accessory Shelf 14in			
1	ADEC	492-9506	UP4002,Upr Strg,Alum Door			
			Inspire Sterilization Center	\$19,500.00	\$13,540.00	\$13,540.00
1	ADEC	493-0388	594,70in Steri Center			
1	ADEC	493-0230	EC4005,Full Flat Endcap			
1	ADEC	494-0018	M.R. Tower Pos 2 Mod			
1	ADEC	492-9779	TW4204 Twr Module Name			
1	ADEC	492-9498	TW4107,Sterile Strg,Alum			
1	ADEC	493-0320	Endcap,Tradtnl,EC4006			
			Inspire Sterilization Center	\$7,015.00	\$4,871.00	\$4,871.00
1	ADEC	493-0242	594,28in Steri Center			
1	ADEC	493-0330	EC4007 Transitional Endcp			
1	ADEC	493-0153	DB4005 5,5,5,5,7.5 Drw			
1	ADEC	493-0230	EC4005,Full Flat Endcap			
			SC12 Hex Motor Compressor 10-12 User,230	\$22,645.00	\$15,720.00	\$15,720.00
1	ADEC	124-8063	Cmprs,SA12,Hex Mtr,10-12			
			FASC Fresh Air Intake Kit	\$377.66	\$263.00	\$263.00
1	ADEC	124-8065	Kit,Fresh Air Intake			
			Dual DV7 SMART-VAC System	\$35,860.00	\$24,893.00	\$24,893.00
1	ADEC	124-8129	DV,Dual DV7 Smart Vac Sys			



Bill To: Healthy Smiles Of Scappoose				City: Scappoose		State: OR		Zip: 97056	
Address: 33640 E Columbia Ave				Phone: 5035434949		Fax: 5035434949			
City: Scappoose		State: OR		Zip: 97056		New Acct:		Existing Acct:	
Deliver To: Healthy Smiles Of Scappoose				Henry Schein Dental					
Phone: 5035434949									
Fax:				City:		State:		Zip:	
Email:				Phone: (503) 896-6606			Fax:		

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<input type="checkbox"/> Henry Schein Financial Services	<input type="checkbox"/> Cash/Bank Financing	Subtotal:	\$1,103,230.00
SSN*:	SSN*:	Shipping & Handling:	\$33,096.90
DOB:	Bank Name:	0.00% ESTIMATED TAX:	\$0.00
Credit Card #:	Bank Officer:	Discount:	\$444,653.09
Expiration:	Bank Phone:	Total:	\$1,136,326.90
		Deposit:	\$113,632.69
		Balance Due:	\$1,022,694.21

Payment Terms: Minimum 10% deposit to initiate order, with balance to be paid on delivery of equipment or within nine months of order date, whichever occurs first.

THIS ORDER IS SUBJECT TO HENRY SCHEIN DENTAL EQUIPMENT TERMS AND CONDITIONS AND ANY SUPPLEMENTAL TERMS AND CONDITIONS PROVIDED WITH PURCHASES HEREUNDER, AND THE PURCHASER AGREES TO BE BOUND THEREBY.

Orders are subject to credit approval.

X _____ X _____
Purchaser's Signature Date Sales Specialist Date

Prices are in effect until	Acceptance by Henry Schein Dental	Date
----------------------------	-----------------------------------	------

Special Instructions



Dear Healthy Smiles Of Scappoose: the attached equipment order (quote) is for your review from Henry Schein, Inc. dba HSD. Please read these Supplemental Terms and Conditions which are applicable to your purchase of dental equipment ("equipment" or "goods") and review all lines of the equipment order (quote) for accuracy. If all documents meet your requirements, please sign at the appropriate signature area.

DENTAL EQUIPMENT / SUPPLEMENTAL TERMS AND CONDITIONS

1. **Late Delivery.** HSD shall attempt to deliver on the date specified in the equipment order, but is not responsible for delays and any delays are not considered a breach by HSD hereunder.
2. **Partial Delivery.** By signing this equipment order, Purchaser agrees that, if in order to fulfill Purchaser's needs and/or installation requirements, HSD may make partial deliveries, and Purchaser must pay amounts owed relating to any such partial delivery. Partial billing is due upon receipt of invoice.
3. **Warranty Disclaimer.** Except as provided in HSD's equipment standard terms of sale, HSD does not give warranties (on products or installation). HSD personnel, including Equipment Specialists or Field Sales Consultants, are not authorized to bind HSD or to make warranties. Oral statements by HSD personnel or agents do not constitute warranties and may not be relied upon or considered a contract.
4. **Labor and Services Time Periods.** Labor described in your equipment order (such as maintenance, repairs, replacement of defective parts, or repairs) must be completed within 90 days following installation. Services (such as training) must be completed within 180 days following installation.
5. **Repairs/Loaners.** If manufacturer is unable to provide replacement product during repair HSD may endeavor to provide a temporary loaner during any period of repair, to the extent available.
6. **Not Included.** Costs relating to the following activities are the sole responsibility of Purchaser and ARE NOT INCLUDED IN THE PURCHASE PRICE:
 - a. Disconnecting and/or reinstalling Purchaser's existing equipment
 - b. Changes or additions in plumbing, electrical, or carpentry
 - c. Governmental inspections, approvals, or fees
 - d. Union intervention in installation or delivery
 - e. Disposal of old equipment
 - f. Delivery of donated equipment
 - g. Insurance
7. **Late Payment Charges.** 1½% PER MONTH WILL BE CHARGED ON PAST DUE BALANCES (18% PER YEAR).
8. **Office Space Plans.** Office space plans drawn by HSD, are the sole property of HSD and are not to be used without HSD's prior written consent.
9. **Purchaser's Name.** The name provided in the equipment order is the exact legal name of Purchaser.
10. **Return Policy.**

(Return Policy) Initial Here:

60 days or under	61 to 90 Days	Greater than 90 days
<ul style="list-style-type: none">Goods purchased on equipment orders through HSD will be subject to a 15% restock fee if the goods are returned in original sellable condition (see below). Goods returned not in original sellable condition are subject to a 25% restock fee.	<ul style="list-style-type: none">Goods purchased on equipment orders through HSD will be subject to a 25% restock fee if the goods are returned in original sellable condition. Goods returned not in original sellable condition are subject to a 50% restock fee.Regardless of condition, technology goods including laptops, desktop PCs, servers, printers, TVs, monitors, portable storage devices and network hardware will be subject to a 50% restock fee.	<ul style="list-style-type: none">Goods purchased on equipment orders through HSD that have been installed and put into use can only be returned after approval for a credit to Purchaser's account which may only be used for future purchases from HSD or to settle an open balance, and will be subject to a 50% restock fee.

Exceptions/Additional Information:

- a. Goods covered by this policy are those sold by HSD in product series 800, 805, 819, 826, 845 and 850.
 - b. Dates above are calculated from invoice date.
 - c. Goods are not returnable after 12 months from invoice date or that show obvious signs of abuse or misuse.
 - d. The following are not returnable: small equipment, hand pieces and software (including Dextrix).
 - e. The following are returnable only in the first 90 days: laptops, desktop PCs, servers, printers, TVs, monitors, portable storage devices and network hardware.
 - f. Interest rate charges or early pay penalties charged by financial institutions are the sole responsibility of the customer.
 - g. Custom goods are not returnable.
 - h. Deposits placed on custom orders that are canceled will be subject to forfeiture at any time if the manufacturer of the goods is unable to cancel an order.
 - i. Original sellable condition is defined as the goods being returned in good working order, free of cosmetic imperfections and fully operational to the manufacturer's specifications.
11. **Credit Line Review.** By signing this equipment order, Purchaser authorizes HSD and its subsidiaries and affiliates, by or through their designees: (i) to investigate Purchaser's personal credit and finance records, including obtaining records from the listed bank(s) and from such other applicable banks providing information related to the opening and extension of credit and other accounts with HSD, and (ii) to use Purchaser's social security number to request and obtain consumer credit reports in connection with the opening, monitoring, renewal and extension of accounts with HSD. Purchaser further consents to the sharing of the information provided in connection with any Purchaser application and account, as well as the information on Purchaser's consumer credit report, by and among HSD and its subsidiaries and affiliates, and with third parties from which Purchaser elects to apply for credit, for purposes of applying for and extending credit and other forms of accounts. Bank and credit information may be obtained for future reference provided Purchaser's account remains in active standing. Purchaser hereby authorizes the listed bank to release Purchaser's financial information to verify funds availability for payments under this equipment order. Upon request from Purchaser, HSD or its designee may apply on Purchaser's behalf for appropriate financing to finance this equipment order.
 12. **Financing Statements.** By signing this equipment order, Purchaser acknowledges that HSD may file financing statements and amendments thereto for HSD to perfect its security interest in the equipment described in this equipment order. Such security interest will be maintained until HSD receives payment in full for such equipment.
 13. **Credit Card Policy.** Limits on credit card uses: (a) Henry Schein-branded credit cards, no limit; (b) non-Henry Schein-branded credit cards, limited to the greater of 10% of an order or \$20,000; and (c) no credit cards (Henry Schein-branded or other) may be used for payments regarding EZPay purchases.
 14. **Sales Tax.** Sales tax shown is an estimate and actual sales tax will be calculated at time of invoice.
 15. **CBCT Installations.** For CBCT installations, the National Council on Radiation Protection and Measurements (NCRP), in Report Nos. 49 and 147, recommends a plan review/shielding design by a qualified expert physicist, which is also a legal requirement in most states. HSD will facilitate obtaining this plan review/shielding design through a qualified expert physicist before installation. **Standard Terms of Sale.** HSD's equipment standard terms of sale are hereby incorporated herein by this reference and apply to this equipment order.

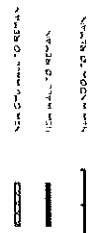
(Credit Card Policy) Initial Here: _____

DISCOUNTS, REBATES AND DISCLOSURES: Invoice or statement prices may reflect or be subjected to a bundled discount or rebate pursuant to purchase offer, promotion or discount program. You must fully and accurately report to Medicare, Medicaid, Tricare and/or any other federal or State program, upon request by such program, the discounted price(s) or net price(s) for each invoiced item, after giving effect to any applicable discounts or rebates, which price(s) may differ from the extended prices set forth on your invoice. Accordingly, you should retain your invoice and all relevant information for your records. It is your responsibility to review any agreements or other documents, including offers or promotions, applicable to the invoiced products/prices to determine if your purchase(s) are subject to a bundled discount or rebate. Any such discounts must be calculated pursuant to the terms of the applicable purchase offer, promotion or discount program. Participation in a promotional discount program is only permissible in accordance with discount program rules. By participation in such program, you agree that, to your knowledge, your practice complies with the discount program requirements.

4339 - Healthy Smiles

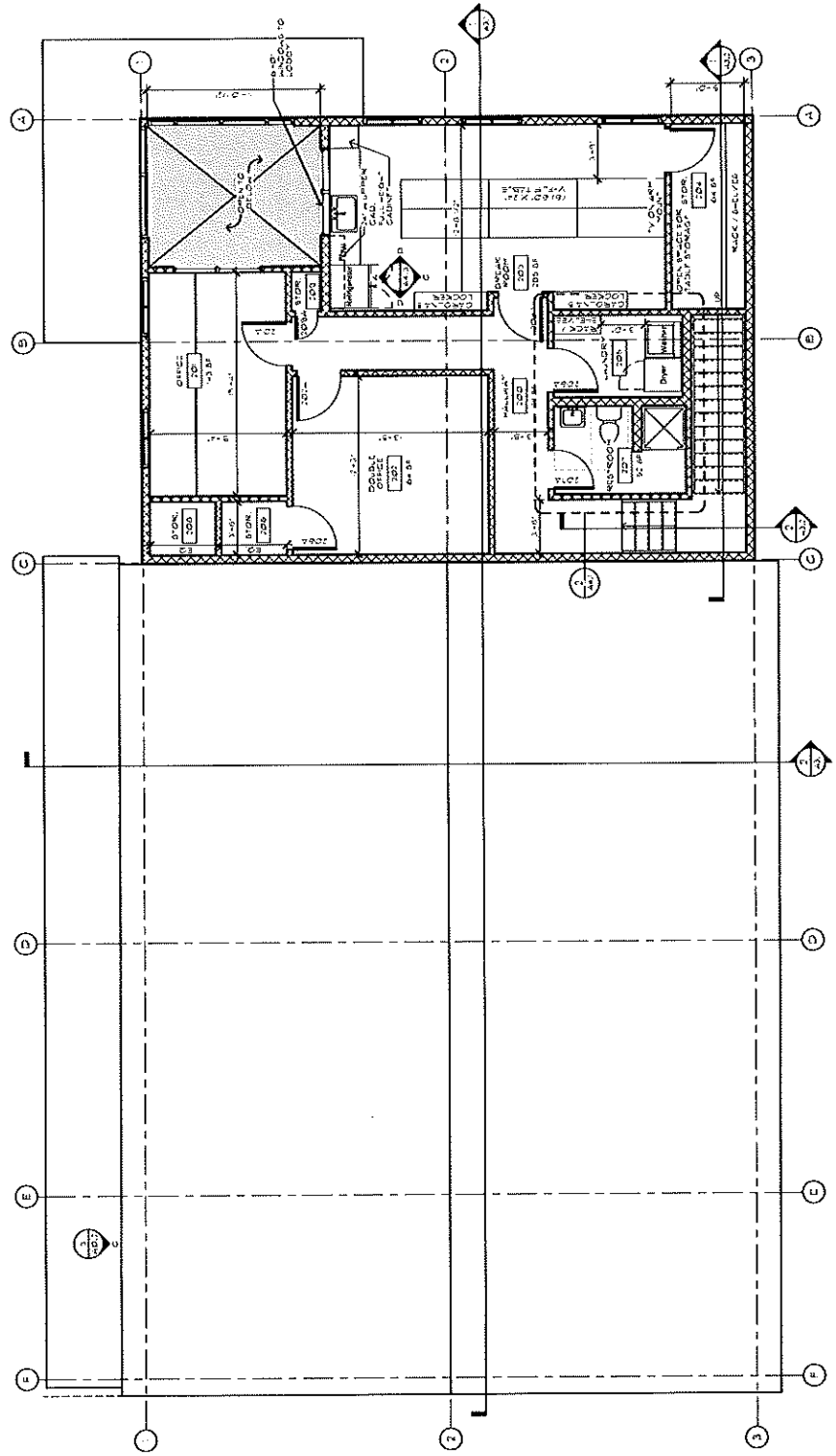


Subcontractor	Task Name	Start Date	End Date	Duration	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4
All	OFFSITE NEGOTIATION, MISC. COORDINATION & Design Dev. wrapped up	03/19/21	08/04/22	355d														
BBL Architects	Land Use Approval - City (slight risk if BBL moves to next step prior to city approval)	08/05/22	12/01/22	85d														
BBL Architects	Property Line Adjustment	08/05/22	09/15/22	30d														
Henry Schen	Dental Drawings	07/18/22	08/05/22	15d														
BBL Architects	Construction Documents (CD's) Plans - Permit/Bid ready	08/05/22	10/03/22	42d														
BBL Architects	Interior Design Complete	08/19/22	09/29/22	30d														
South Kiser	HVAC/Electrical/Plumbing/Sprinkler Drawings	08/08/22	09/09/22	25d														
City of Scappoose	Permit Submitted & Review Duration (including all plan check responses)	10/04/22	12/05/22	45d														
South Kiser	Final Construction Costs	10/04/22	10/31/22	20d														
Kendall & Norwest	Construction Contract Finalized	11/01/22	11/07/22	5d														
Bank	Bank Appraisal	11/01/22	12/05/22	25d														
BBL Architects	Construction Documents Revised for permit responses & bid input	12/06/22	12/19/22	10d														
Bank	Loan Funded	12/06/22	01/02/23	20d														
Norwest	Construction	01/24/23	10/16/23	190d														
Norwest	Exterior	01/24/23	07/17/23	125d														
	Demo house, scrape and rock site	01/24/23	02/13/23	15d														
	Shell & Site Construction	02/14/23	07/17/23	110d														
Norwest	Interior Construction	06/06/23	10/16/23	95d														
	TI Construction	06/06/23	10/16/23	95d														



20003.01.L
PROJECT NUMBER
27 JUNE 2022
DATE

HEALTHY SMILES OF SCAPPOOSE
NEW BUILDING
35610 E. COLUMBIA AVE., SCAPPOOSE, OR 97056
SECOND FLOOR PLAN



2'-0" = 1'-0" SCALE
N
NORTH

Session

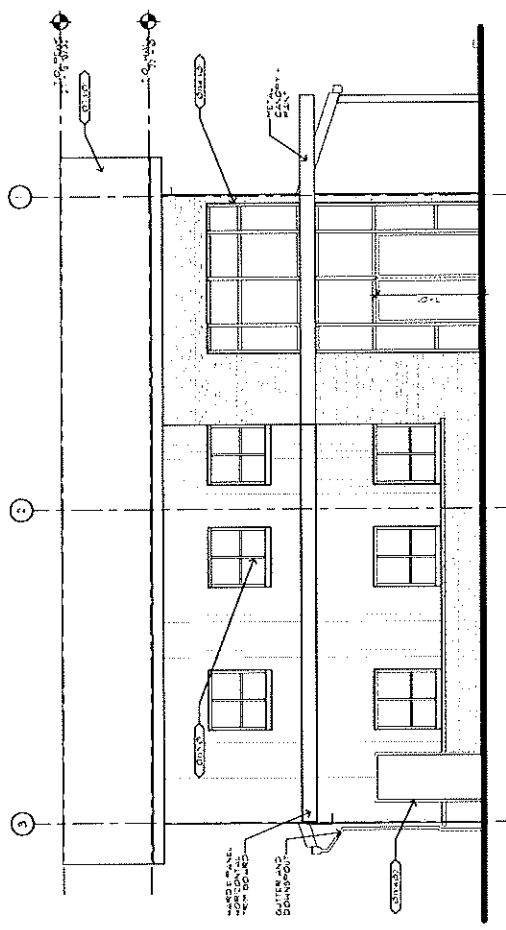
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000002 WOOD BLANKING
000003 BROSLOWS REINFORCED PANELS
000004 WOOD DOOR PANELS REINFORCED
000005 ALUMINUM REINFORCED BARRIERS
000006 ALUMINUM HANDRAILS

GENERAL NOTES

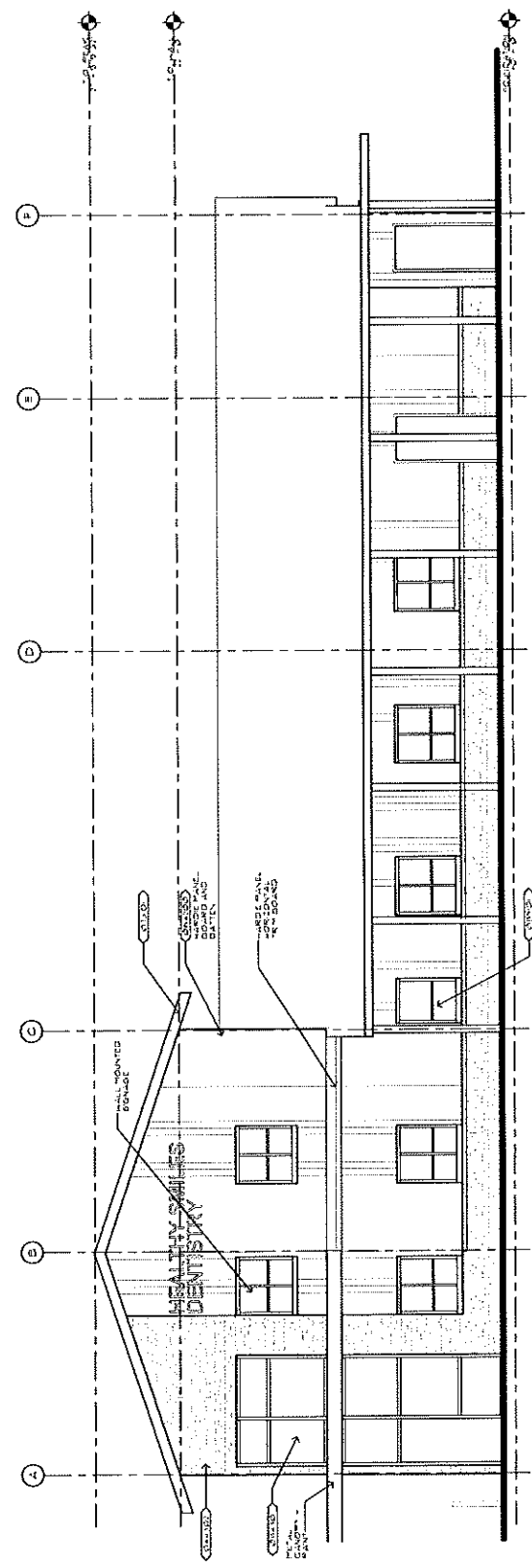
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ALTERNATIVES:

- SECRET - 100-442886-229-2



1 EAST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION

