



**SCAPPOOSE**  
*Oregon*

**MONDAY, FEBRUARY 6, 2023  
URBAN RENEWAL AGENCY MEETING, 6:00 pm  
Scappoose Council Chambers  
33568 E Columbia Avenue  
Scappoose, Oregon 97056**

**ITEM AGENDA TOPIC**

**Action**

**Call to Order**

**Roll Call**

**Approval of the Agenda**

**Elect Chair and Vice Chair**

**Public Comment**

**Approval Minutes**

**October 3, 2022 Urban Renewal Agency meeting minutes**

**Approval**

**Old Business**

**Status of Active Urban Renewal Applications**

**New Business**

**Scappoose Economic Development Committee Council Goal Recommendation**

**Adjournment**



# SCAPPOOSE *Oregon*

**MONDAY, OCTOBER 3, 2022**  
**URBAN RENEWAL AGENCY MEETING, 6:00 pm**  
**Scappoose Council Chambers**  
**33568 E Columbia Avenue**  
**Scappoose, Oregon 97056**

## **Call to Order**

Chair Scott Burge called the Urban Renewal Agency to order at 6:00pm.

## **Roll Call**

**Present:** Agency Member Scott Burge; Agency Member Megan Greisen; Agency Member Brandon Lesowske; and Agency Member Pete McHugh.

**Staff Members:** City Manager Alexandra Rains; Legal Counsel Peter Watts; Assistant to City Manager Isaac Butman; Finance Administrator Carol Almer; Community Development Director Laurie Oliver Joseph; and City Recorder Susan Reeves.

**Remote:** Agency Member Josh Poling; Agency Member Tyler Miller; Agency Member Jeannet Santiago (arrived at 6:43pm); Anna Del Savio with Columbia County Spotlight; Kim Holmes; Liz Bian (arrived at 6:21pm); Christine Turner (arrived at 6:52pm); Kevin Bryant Lay (arrived at 6:54pm); and Margaret Trench-Smith (arrived at 6:55pm).

## **Approval of the Agenda**

Agency Member Megan Greisen moved, and Agency Member Brandon Lesowske seconded the motion to approve the agenda. (Motion passed 6-0). Scott Burge, aye; Megan Greisen, aye; Josh Poling, aye; Brandon Lesowske, aye; Pete McHugh, aye; and Tyler Miller, aye.

## **Public Comment**

There were no public comments.

## **Approve Minutes ~ May 16, 2022 and June 20, 2022**

Agency Member Brandon Lesowske moved, and Agency Member Pete McHugh seconded the motion to approve the May 16, 2022 and June 20, 2022 minutes. (Motion passed 6-0). Scott Burge, aye; Megan Greisen, aye; Josh Poling, aye; Brandon Lesowske, aye; Pete McHugh, aye; and Tyler Miller, aye.

## **New Business**

### **Review Applications**

City Manager Alexandra Rains explained following the postings of the grant program the Agency approved, we have four applications for you to review. She explained staff did try to go through them as much as possible just to confirm that they had provided all of the materials that you asked for. She explained she believes a couple of them might be missing a couple of minor things, but they did want to be part of this presentation. There are a couple of applicants here this evening. She explained there is just over \$55,000 available for this program. Staff printed out the program guidelines and goals just as reminder.

Matthew Galizia, explained he works at Cathedral Coffee fulltime, is here this evening to give an overview and answer any questions the Agency may have.

Agency Member Brandon Lesowske asked if the espresso machine is plumbed, not mobile, and is instrumental for the business purposes.

Matthew Galizia replied the espresso machine is what they use to make most of their drinks, almost everything goes through that machine. He explained the estimated cost of a machine, like they are trying to upgrade to, would be a minimum of \$20,000 and that is on the low end of what espresso machines in a commercial environment cost.

Agency Member Megan Greisen explained in the application it shows that this machine is over \$16,000 but the ask is only for \$7,000. She asked about the estimate included with the application.

Matthew Galizia explained the estimate and why they are getting a good deal on the cost of the machines. In addition he explained they will need to add the filters because along with other minerals there is a high volume of calcium in the water here and at is something they didn't realize when they started the café. They did not equip the café with the filters to remove the sediment and preserve the equipment. He explained that is one of the issues they are running into now.

Community Development Director Laurie Oliver Joseph gave an overview of the Columbia Bldg. – Pyramid Holdings LLC project. She explained the City sees this as a benefit for our downtown corridor.

Community Development Director Laurie Oliver Joseph gave an overview of the Food Cart Pod – CCPOD LLC. She explained it was approved by the Planning Commission on July 29, and is currently in the design phase.

Agency Member Brandon Lesowske asked if there was anyone on the Commission that would want to recuse themselves from this particular applicant?

Agency Member Pete McHugh replied yes, he will have to do that.

Kendall Liday Williams with Healthy Smiles – JAW Ventures LLC explained her and her husband have developed an LLC to be the real estate holding company for Healthy Smiles of Scappoose which is the company that she currently owns. She has been the owner and the dentist in town for 17 years at this practice. She has been renting space from her previous practice partner in the building she is currently in. She explained the goal was for her to buy that building but the good news is she has outgrown it. Her goal is to provide more services and also bring in specialist to provide other services that we can't provide currently in our community. She explained she did apply for a grant through Business Oregon.

Agency Member Brandon Lesowske asked Matthew a couple of follow up questions. He explained in the application it states that the applicant had not provided design or visual in regards to where the machine would be placed, statement on matching funds, and timeline for implementation of the equipment. He explained the funding ask he thinks is there, it is indicating that it is not, but he feels like Matthew provided that. He asked Matthew if he feels confident on behalf of Cathedral Café to provide those items to the Urban Renewal Agency before funds could be release if they decide to fund this particular project?

Matthew Galizia replied absolutely.

Agency Member Brandon Lesowske moved, and Agency Member Pete McHugh seconded the motion that the Agency approve Cathedral Coffees application contingent on providing the City staff with the full documentation request associated with the new piece of equipment and fund it at the ask of \$7,000. (Motion passed 6-0). Scott Burge, aye; Megan Greisen, aye; Josh Poling, aye; Brandon Lesowske, aye; Pete McHugh, aye; and Tyler Miller, aye.

Agency Member Brandon Lesowske asked if there is a timeline for when that information is needed?

Community Development Director Laurie Oliver Joseph asked could we request within 30 days?

Legal Counsel Peter Watts explained as long as the applicant is aware of the 30 days a motion doesn't need to be made.

Agency Member Josh Poling explained when looking at the other applications he is looking more at what can provide something sooner than later.

Agency Member Jeannet Santiago explained she would need more information before awarding more funds.

Agency Member Megan Greisen explained she is not prepared to award any money to Pyramid Holdings LLC this evening.



The consensus of the Agency was to hold off awarding any money to Pyramid Holdings LLC.

Agency Member Megan Greisen asked the other Agency Members if they are prepared to have a discussion about dollar amounts for the Food Cart Pod – CCPOD LLC application?

Chair Burge replied we don't have the \$50,000 that has been requested, and we have another applicant that has also requested \$50,000, so obviously \$50,000 is out.

Agency Member Brandon Lesowske explained he would not want to consider their application just based on the fact that a representative wasn't here. He explained that doesn't mean that he wouldn't want to bring this application back to the Agency at a later point and time in order to ask questions. He asked if we could have staff reach out to the applicants that are not here this evening to present to the Agency at a later date?

City Manager Rains replied yes.

Agency Member Megan Greisen talked about the Agency keeping in mind what they want to save for next year and what they want to save to discuss further with CCPOD.

Agency Member Pete McHugh asked Legal Counsel Peter Watts if he should even be involved in any of the other distribution of funds?

Legal Counsel Peter Watts replied he thinks it would probably make sense to recuse himself.

Agency Member Josh Poling suggested \$20,000 for Healthy Smiles – JAW Ventures LLC.

Agency Member Brandon Lesowske; Agency Member Megan Greisen; and Chair Burge suggested \$15,000.

Agency Member Megan Greisen moved, and Agency Member Brandon Lesowske seconded the motion to award Dr. Kendall Liday Williams with Healthy Smiles – JAW Ventures LLC \$15,000. (Motion passed 5-0). Scott Burge, aye; Megan Greisen, aye; Josh Poling, aye; Brandon Lesowske, aye; and Tyler Miller, aye. Pete McHugh abstained.

## **Adjournment**

Chair Scott Burge adjourned the Urban Renewal Agency meeting at 6:59pm

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Chair Scott Burge

Attest:

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City Recorder Susan M. Reeves, MMC



**SCAPPOOSE**  
*Oregon*

**To:** Scappoose Urban Renewal Agency  
**From:** City of Scappoose Staff  
**Date:** February 6, 2023  
**Subject:** Status of Active Urban Renewal Applications

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Four Urban Renewal Grant applications were presented to the Urban Renewal Agency at the most recent meeting on October 3, 2022. At this meeting, two of the four grant applications were awarded the following:

- Cathedral Coffee was awarded their full request of \$7,000.
- Healthy Smiles was awarded \$15,000, a portion of the \$50,000 they requested.

With an initial fund of approximately \$55,000 and the two grant awards above, there remains \$33,000 that the Agency could award to any of the four grant applicants, including those that have and have not already been awarded grant dollars. The URA can also elect to preserve any amount of the remaining \$33,000 for future projects.

The Agency requested that CCPOD, LLC return to a future meeting to provide the Agency with more information on their application. City Staff has reached out to their representative and is hopeful that they will attend the URA meeting on February 6, 2023. At the October meeting, the Agency expressed sentiments that the Pyramid Holdings LLC application was premature to review or award at this time. However, given the flexibility that the Urban Renewal Agency enjoys, grant funding can be awarded to Pyramid Holdings LLC if the Agency chooses.



## Scappoose New Development Grant Program Application

### APPLICANT INFORMATION

Name: CCPOD, LLC (Hurliman, Nicholas; Schultz, Jeffrey; McHugh, Matthew)  
*Last First M.I.*

Address: 51915 Columbia River Hwy  
*Street Address Apartment/Unit #*  
Scappoose OR 97056  
*City State ZIP Code*

Phone: (503) 987-1587 Email: nick@hurlimancpa.com

Tax ID Number: CCPOD LLC 83-1775845

### BUILDING/BUSINESS/PROPERTY TO BE IMPROVED

Name: \_\_\_\_\_  
*Last First M.I.*

Address: 51875 SW Old Portland Rd  
*Street Address Apartment/Unit #*  
Scappoose OR 97056  
*City State ZIP Code*

Property Tax Account Number: R- 4634

### OWNER OF PROPERTY (IF NOT APPLICANT)

Name: \_\_\_\_\_  
*Last First M.I.*

Address: \_\_\_\_\_  
*Street Address Apartment/Unit #*  
\_\_\_\_\_  
*City State ZIP Code*

Phone Number: ( )

### LAND USE

Has the applicant attended a pre-application conference for this project? Y / ☒ N

Has the applicant submitted for land use approval? If not, when would the applicant expect to do so? ☒ Y / N

**DESCRIPTION OF PROPOSED NEW DEVELOPMENT ACTIVITIES:**

Please see attached land use submittal set for full details.

Brief Description: We are planning to build a food cart pod that will allow for 11 food cart spaces around a 2100 sq ft dining hall/taproom. There will be covered and uncovered outdoor seating for patrons. Hoping to create a great food entrepreneur space where the community can gather and try many different food/drinks throughout the year.

**ESTIMATED COST OF PROPOSED NEW DEVELOPMENT ACTIVITIES: \$ \$1,400,000**

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These are the initial rough estimates for the improvements, they do not count engineering and land acquisition to this point. Full estimate could be provided by general contractor.



### STATEMENT OF UNDERSTANDING

The applicant understands that the City of Scappoose must approve the proposed new development activities. Certain changes or modifications may be required by the City prior to final approval. Any work commenced prior to a commitment letter issuance will not be eligible for reimbursement, and any work deviating from approved work must be pre-approved by the City of Scappoose to be eligible for reimbursement.

### SUBMITTAL REQUIREMENTS

- Preliminary conceptual design of the proposed new development activities. This can be a photograph with marked changes, architectural drawing, plans, etc.
- Application (including signature and Federal Tax ID number)
- Written permission for improvements from property owner, if you are not the owner
- Estimated project cost/budget and detailed project description
- Statement on source of private match funding
- A materials spec. board or detailed description of materials
- Construction schedule for the project
- Other required information outlined in the program guidelines, as requested

### CERTIFICATION BY APPLICANT

The applicant certifies that all information in this application and all information furnished in support of this application is given for the purpose of obtaining a grant and is true and complete to the best of the applicant's knowledge and belief.

If the applicant is not the owner of the property to be developed or if the applicant is not the sole owner of the property, the applicant certifies he/she has the authority to sign and enter into an agreement for development on the property. Evidence of this authority must be attached.

Verification of any of the information contained in this application may be obtained by the City of Scappoose from any available source.

Applicant Signature

8/4/22

Date

### PLEASE RETURN APPLICATION AND REQUIRED INFORMATION TO:

The City of Scappoose Community Development Center  
52610 NE 1st St., Suite 120 (if delivered in person)  
35568 E Columbia Ave. (if mailed)  
Scappoose, Oregon 97056  
503-543-7184



# SCAPPOOSE FOOD CART POD

CCPOD, LLC

51875 COLUMBIA RIVER HWY  
SCAPPOOSE, OR 97056

## DRAWING INDEX

GENERAL SHEETS - LOWER COLUMBIA ENGINEERING	
SHEET	DESCRIPTION
G-1	GENERAL PROJECT INFO, VICINITY MAP & INDEX
G-2	GENERAL PROJECT NOTES
CIVIL SHEETS - LOWER COLUMBIA ENGINEERING	
SHEET	DESCRIPTION
C-1	EXISTING CONDITIONS PLAN
C-2	EROSION AND SEDIMENT CONTROL PLAN
C-3	SITE PLAN
C-4	STORMWATER & GRADING PLAN
C-5	LANDSCAPING PLAN
C-6	ILLUMINATION PLAN
C-7	UTILITY PLAN
ARCHITECTURAL SHEETS - BY OTHERS- NOVAK ARCHITECTURE	
SHEET	DESCRIPTION
A200	FLOOR PLAN
A300	PRELIMINARY ELEVATIONS

## GENERAL SITE INFO:

TOTAL LOT AREA:  
27,766 SQ FT (APPROX 0.64 ACRES)

TOTAL PROPOSED IMPERVIOUS AREA:  
21,963 SQ FT (79.1%)

TOTAL PROPOSED LANDSCAPE AREA:  
5,803 SQ FT (20.9%)

FOOD CARTS: 11 CARTS TOTAL

TYPE A: MAX. SIZE - 8.5'x18' (3)  
TYPE B: MAX. SIZE - 8.5'x16' (7)  
TYPE C: MAX. SIZE - 10'x17' (1)

NEW BUILDING SIZE: 2,160 SQ. FEET (60'x36')  
NEW BUILDING HEIGHT: 22' FEET (30' MAX.)

TOTAL PARKING SPACES: 26 TOTAL ON SITE  
COMPACT SPACES: 8.5'x15' (6 SPACES)  
STANDARD SPACES: 9'x18' (20 SPACES)  
(ACCESSIBLE SPACES: 9'x18' - 2 SPACES OF 21)  
(ADDITIONAL 3 NEW STREET PARKING SPACES OFFSITE)

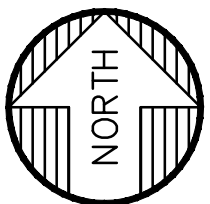
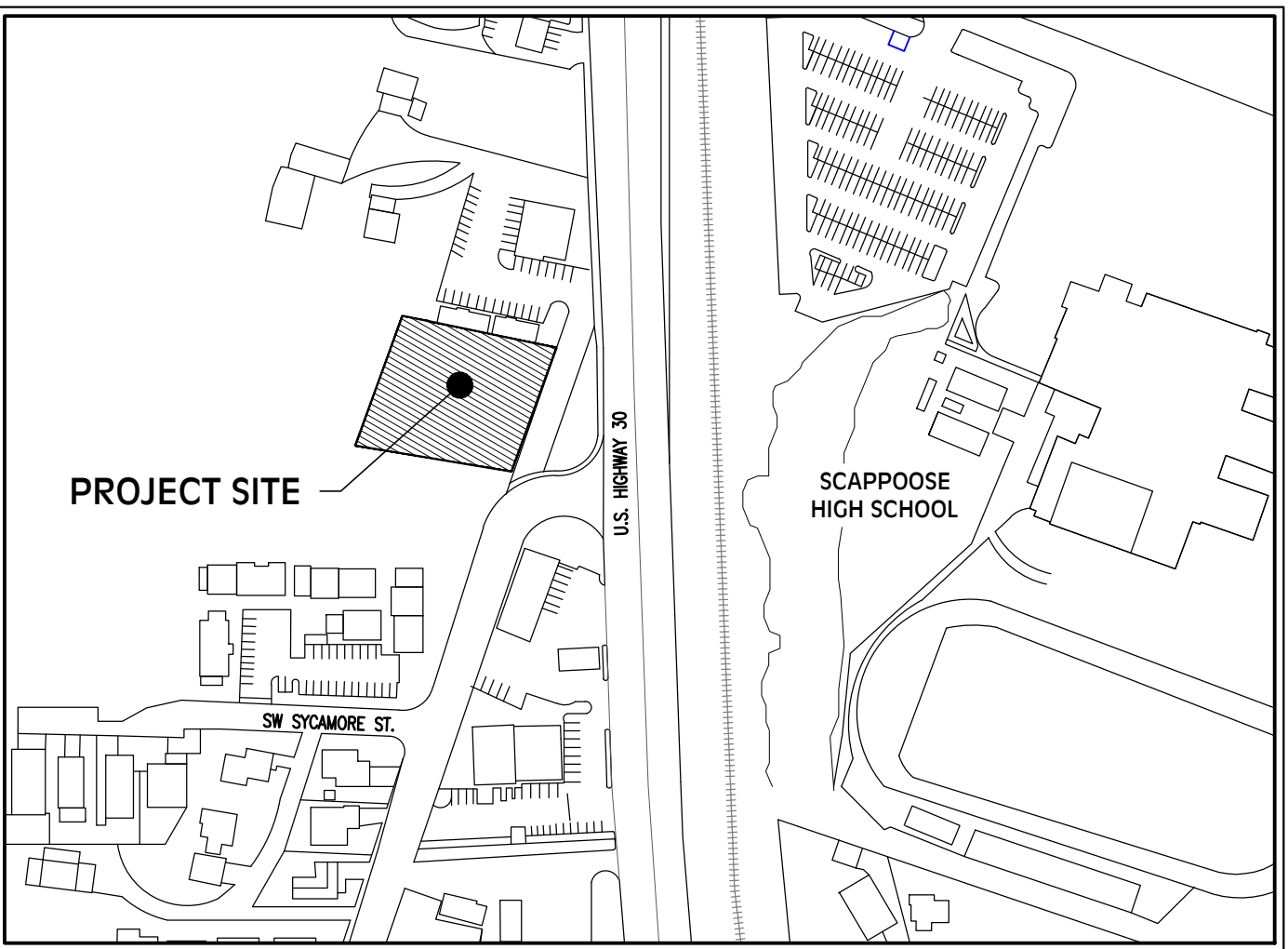
## OTHER PROJECT INFORMATION

PROJECT NAME: CCPOD, LLC - SCAPPOOSE TAPHOUSE & FOOD CART POD

PROPOSED USE: COMMERCIAL, MIXED-USE  
FOOD CART POD & (A-2) ASSEMBLY

OPERATING HOURS: 11AM-10PM  
VEHICULAR TRAFFIC: (SEE TRAFFIC STUDY)

SPECIAL NOTE:  
LOWER COLUMBIA ENGINEERING HAS ADDRESSED THE PROPOSED DESIGN, NOT INCLUDING THE ARCHITECTURAL DESIGN. THESE DRAWINGS ARE INTENDED FOR THE SITE DEVELOPMENT REVIEW CRITERIA REQUIREMENTS OUTLINED BY THE CITY OF SCAPPOOSE MUNICIPAL CODE 17.120. THE DRAWINGS ARE CONSIDERED PRELIMINARY ONLY.



VICINITY MAP  
SCALE: NTS

## PROJECT TEAM

### CIVIL ENGINEER

LOWER COLUMBIA ENGINEERING  
58640 McNULTY WAY  
ST. HELENS, OR 97051  
PHONE: (503) 366-0399

CONTACT: CHASE BERG  
chase@lowercolumbiaengr.com

ENGINEER: ANDREW NIEMI  
andrew@lowercolumbiaengr.com

### ARCHITECT

NOVAK ARCHITECTURE  
17020 SW UPPER BOONES FERRY RD.  
STE. 200  
PORTLAND, OR, 97224  
(503) 352-4987

CONTACT: TERRY NOVAK  
TNOVAK@NOVAKARCHITECTURE.COM

### OWNER

CCPOD, LLC  
51875 SW OLD PORTLAND RD.  
SCAPPOOSE, OR 97056  
PHONE: (503)-936-9241

CONTACT: MATT MCHUGH  
matt@cascadialoans.com

CONTACT: JEFF SCHULTZ  
jeff@schultzfs.com

CONTACT: NICK HURLIMAN  
nick@hurlimanpcpa.com

### GENERAL CONTRACTOR

PORTRAIT HOMES  
51891 SW OLD PORTLAND RD.  
SUITE B  
SCAPPOOSE, OR 97056  
PHONE: (503) 680-5637

CONTACT: JEFF SPANG  
jspang@portraithomesnorthwest.com

\*\*\*3RD PARTY CONSULTANTS  
NOT SHOWN - DEFER TO SUBMITTALS

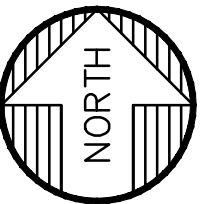
## MASTER LEGEND

(E)	EXISTING
(N)	NEW
---	(E) MINOR CONTOUR
---	(E) MAJOR CONTOUR
---	(N) MINOR CONTOUR
---	(N) MAJOR CONTOUR
---	EXISTING FENCE
FH	(E) FIRE HYDRANT
---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
SAN	(E) SANITARY SEWER
H2O	(E) WATER MAIN
PWR	(E) OVERHEAD WIRE
⊙	(E) SANITARY MANHOLE
⊙	(E) CATCH BASIN
SAN	(N) SANITARY SEWER MAIN
H2O	(N) WATER MAIN
⊙	(N) SANITARY CLEANOUT
⊙	(N) SANITARY MANHOLE
→	DRAINAGE FLOW ARROW
⊙	(E) TREE
○	(N) SIGN
△	(N) CONCRETE
+	(N) LANDSCAPED AREA
▨	(N) PAVESTONE
▨	(N) GRASS
▨	(N) RIVER ROCK
▨	(N) ASPHALT

## PLOT PLAN LEGEND

▨	EXISTING BUILDING
▨	PROPOSED NEW FOODCARTS
▨	PROPOSED ACCESSORY STRUCTURES
▨	PROPOSED NEW BUILDING

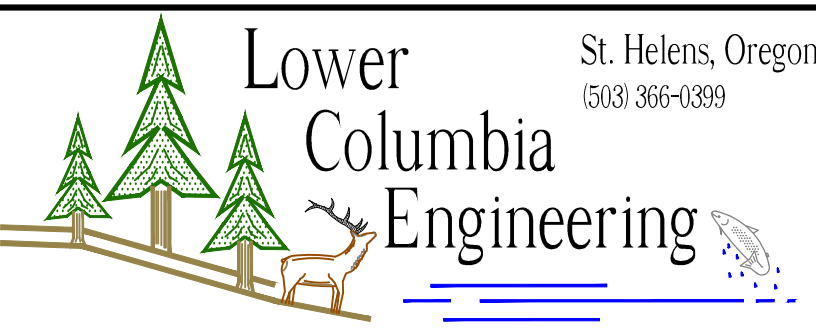
PLOT PLAN  
SCALE: 1" = 20'-0"



DATE: 04/21/2022  
PRELIMINARY  
NOT  
FOR CONSTRUCTION

DATE: 04/21/2022  
REVISED PRINT  
VOID ALL PREVIOUS

REV.	REVISION RECORD	DATE
A	UPDATE PER PRE-APPLICATION	11/04/2021
B	UPDATES PER CHECK-SET	11/18/2021
C	RE-ISSUE FOR LAND USE SUBMITTAL	03/01/2022
D	FINAL SITE REVISIONS	04/05/2022
E	FINAL LAND USE SUBMITTAL	04/13/2022



St. Helens, Oregon  
(503) 366-0399

PROJ. NO.	3098	GENERAL PROJECT INFO, VICINITY MAP, & INDEX
DWG. BY	MLA	SCAPPOOSE FOOD CART POD
APPR. BY	CCPOD, LLC	SHEET
FILE	D-3098-G-1-E	DATE 01/15/21

G-1

LAND USE SUBMITTAL



GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST IRC (WITH APPROPRIATE AMENDMENTS) NDS AND ACI SPECIFICATIONS.
2. ALL ROOF FRAMING AND ANCHORAGE IS BY OTHERS, UNLESS NOTED OTHERWISE.
3. ANY NECESSARY SLOPE STABILITY ANALYSIS, VERIFICATION OF AN ALLOWABLE VERTICAL SOIL BEARING CAPACITY OF 1,500 PSF, VERIFICATION OF A MAXIMUM EQUIVALENT FLUID PRESSURE ON WALLS FROM SOIL OF 35 PSF/FT IS THE RESPONSIBILITY OF OTHERS.
4. CONTACT ENGINEER WITH ANY UNCERTAINTIES PRIOR TO PROCEEDING.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY SUPPORT OF STRUCTURES AND EMBANKMENTS.
6. IF APPLICABLE, SUBMIT TRUSS DESIGN TO ENGINEER PRIOR TO FABRICATIONS WITH LOCATIONS AND REACTIONS OF GIRDER TRUSSES TO PROVIDE APPROVAL FOR ADDITIONAL LOADING FROM ROOF FRAMING. VERIFY ALL TRUSS SPANS AND CONFIGURATIONS ON JOB SITE PRIOR TO FABRICATION.
7. ANY BEDROOMS SHALL HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20" AND A MINIMUM OPENING HEIGHT OF 22" AND A SILL HEIGHT OF NO MORE THAN 44" ABOVE FINISHED FLOOR.
8. WINDOWS WITHIN 18" OF FINISHED FLOOR, ANY GLAZING IN DOORS OR WITHIN 24" OF ANY DOOR AND TUB ARE TO BE TEMPERED.
9. ANY TUBS AND SHOWER DOORS ARE TO BE GLAZED WITH SAFETY GLAZING.
10. CRAWL SPACE SHALL BE VENTILATED WITH 1 SQ. FT. OF NET FREE AREA PER 150 SQ. FT. OF UNDER FLOOR SPACE. PROVIDE VENTS WITHIN 3'-0" OF ALL CORNERS. COVER ALL VENTS WITH 1/4" MAX. MESH. ENTIRE CRAWL SPACE SHALL BE COVERED WITH 6 MIL. CONTINUOUS PLASTIC VAPOR BARRIER AND BE SLOPED TO A LOW POINT DRAIN THAT DISCHARGES TO APPROVED STORM SEWER. PER ORSC, SECTION R408.
11. DO NOT SCALE DRAWINGS.
12. ALL SITE DESIGN ISSUES ARE THE RESPONSIBILITY OF OTHERS.

EXCAVATION & FOUNDATION NOTES

1. CONCRETE DESIGN IS BASED ON A COMPRESSIVE STRENGTH OF 2,500 PSI. HOWEVER, ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AFTER 28 DAYS, ALL REINFORCING STEEL SHALL BE A-615 GRADE 60.
2. ALL REINFORCING SHALL BE SPLICED AND/OR BENT TO FULLY DEVELOP THE CAPACITY OF THE BAR (44 BAR DIAMETERS MINIMUM).
3. ALL FOUNDATIONS SHALL BE CARRIED DOWN TO THE ELEVATIONS SHOWN OR TO SUITABLE UNDISTURBED, FULLY CONSOLIDATED SOIL, FREE OF ORGANIC MATERIAL, WHICHEVER IS LOWER.
4. ANY FILL MATERIAL UNDER FOUNDATIONS SHALL BE 3/4" MINUS CRUSHED ROCK, PLACED IN LAYERS NOT EXCEEDING 8" IN DEPTH AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY.
5. ALL BACKFILL SHALL BE EVENLY PLACED IN LAYERS NOT EXCEEDING 8" IN DEPTH AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY. REMOVE ANY STANDING WATER PRIOR TO BACKFILLING. BACKFILL SHALL NOT BE PLACED AGAINST WALL UNTIL SUFFICIENT STRENGTH AND SUPPORT HAS BEEN ACHIEVED.
6. VERIFY THAT ALL APPROPRIATE UTILITIES HAVE BEEN INSTALLED PRIOR TO EACH PHASE OF WORK.
7. ALL CONCRETE MIX POURED IN A NON-CONTROLLED ENVIRONMENT SHALL CONTAIN 3% AIR ENTRAINMENT PER ASTM C260. ALL WALKING SURFACES SHALL RECEIVE A SLIP RESISTANT SURFACE.
8. INSTALL SUITABLE CONSTRUCTION JOINTS IN ALL SLABS AT 15'-0" MAXIMUM, ALL DIRECTIONS.
9. INSTALL (2) #4 CONT. REBAR IN FOUNDATION WALL AND (2) #4 CONT. REBAR IN FOUNDATION BASE MINIMUM, 3" TYPICAL FROM ALL EDGES. INSTALL 5/8" DIAMETER ANCHOR BOLTS AT 4'-0" O.C. WITH (2) MIN. PER PLATE AND 6" FROM PLATE ENDS. BOLTS SHALL HAVE AN EMBEDMENT DEPTH OF 10" AND A 2" HOOK. CONTACT ENGINEER FOR ANY WALLS OVER 4'-0" IN HEIGHT.

10. PERMANENT FILLS AND CUTS SHALL NOT SLOPE MORE THAN 2 UNITS HORIZONTAL TO 1 UNIT VERTICAL.

11. CONTRACTOR IS RESPONSIBLE FOR ALL SITE DRAINAGE ISSUES. ALL FINISHED GRADES SHALL SLOPE AWAY FROM ALL BUILDINGS WITH APPROPRIATE COLLECTION SYSTEM.

MASONRY NOTES

1. ALL HOLLOW CONCRETE MASONRY UNITS SHALL BE "GRADE-A" 1350 PSI, 2-CELL UNITS CONFORMING TO ALL APPLICABLE STANDARDS LISTED IN CHAPTER 21 OF THE UNIFORM BUILDING CODE.
2. GROUT FOR ALL REINFORCED MASONRY WALLS SHALL BE 3/8" AGGREGATE CONCRETE WITH A 28 DAY STRENGTH OF 5,000 PSI WITH INTRUSION ADD MIXTURE EXPANDER APPLIED PER MANUFACTURERS SPECIFICATIONS. SLUMP SHALL BE 7-8 INCHES.
3. ALL MORTAR SHALL BE UBC "TYPE-S" 1,800 PSI COMPRESSIVE STRENGTH AT 28 DAYS WITH THE FOLLOWING PROPORTIONS: 1 PART CEMENT, 1/2 PART LIME, 4 PARTS SAND, 1/5 PART MAXIMUM POZZILAN AS REQUIRED.
4. ALL REINFORCING SHALL BE SPLICED AND/OR BENT TO FULLY DEVELOP THE CAPACITY OF THE BAR (44 BAR DIAMETERS MINIMUM).
5. INSTALL ALL ITEMS PER MANUFACTURERS SPECIFICATIONS AND PROPERLY SEAL ALL UNITS.

FRAMING NOTES

1. ALL EXTERIOR WALLS AND ROOF SHALL BE SHEATHED WITH 15/32" APA RATED PANELS WITH ALL EDGES BLOCKED AND NAILED AT 6" O.C. AT PANEL EDGES & 12" O.C. IN FIELD. FLOOR SHALL BE COVERED WITH 23/32" APA RATED T & G PANELS, GLUE ALL JOINTS AND ATTACH WITH 10d NAILS. NAILS SHALL BE SPACED AT 6" O.C. MAXIMUM AT ALL PANEL EDGES AND 12" O.C. ELSEWHERE. SEE "SHEAR WALL NAILING SCHEDULE" FOR NAILING REQUIREMENTS AT SHEAR PANELS. ALL WALL PLATES SHALL LAP 6'-0" MINIMUM WITH (2) 16d NAILS @ 6" O.C. MAXIMUM.
2. FOR GENERAL NAILING REQUIREMENTS, SEE SCHEDULE TO RIGHT.
3. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED PER NDS SPECIFICATIONS AND IN ACCORDANCE WITH ALL LOCAL CODES AND LAWS.
4. INSTALL GUARDRAILS A MINIMUM OF 36" HIGH SPACED SO THAT A 4" SPHERE CANNOT PASS THROUGH IN ALL AREAS WITH A 24" OR GREATER VERTICAL DROP. ALL RAILS SHALL BE CONSTRUCTED TO RESIST A 50 POUND PER FOOT LOAD. INTERMEDIATE AREAS SHALL RESIST A 50 PSF UNIFORM FORCE OR A 200# CONCENTRATED.
5. ALL FRAMING MATERIALS SHALL BE DOUGLAS FIR #2 OR BETTER UNLESS NOTED OTHERWISE. ALL FRAMING SHALL BE LEVEL, PLUMB, AND TIGHT. ANY TWISTED OR WARPED STUDS SHALL BE REPLACED PRIOR TO FRAMING FINAL.
6. ALL BEAMS SHALL HAVE A MINIMUM BEARING WIDTH OF 3" WITH POSITIVE CONNECTION TO COLUMNS, ALL COLUMNS SHALL HAVE POSITIVE CONNECTION TO FOUNDATION OR COLUMN BELOW. COLUMNS SHALL BE AS SPECIFIED OR TRIPLE STUDS MINIMUM GANG NAILED WITH (2) 16d NAILS AT 12" O.C.

7. ALL FRAMING COMPONENTS SHALL BE SUFFICIENTLY DRY PRIOR TO COVERING TO PREVENT GROWTH OF MOLD. VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR.

8. ALL ATTIC AREAS SHALL BE VENTILATED WITH A NET FREE VENT AREA TO FLOOR AREA RATIO OF 1:150. THIS RATIO MAY BE REDUCED TO 1:300 IF 50-80% OF THE VENT AREA IS IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3'-0" ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE PROVIDED BY EAVE OR CORNICE VENTS. INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. PROVIDE 1" MINIMUM AIR GAP.

9. ALL INTERIOR GYPSUM WALL BOARD SHALL BE ATTACHED WITH NO. 11 GA. 1 3/4" LONG DIAMOND POINT GALVANIZED NAILS WITH 7/16" HEAD OR 16 GA. x 1 3/4" LONG GALVANIZED STAPLES @ 4" O.C.

ELECTRICAL NOTES

1. ALL WORK SHALL BE DONE PER LOCALLY ADOPTED ELECTRICAL CODE AND COMMONLY ACCEPTED STANDARDS.
2. RECEPTACLE OUTLETS ARE REQUIRED IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUN ROOM, BEDROOM, OR SIMILAR ROOM OR AREA OF DWELLING.
3. RECEPTACLES SHALL BE INSTALLED WITH NO MORE THAN 6'-0" MEASURED HORIZONTALLY FROM OUTLETS IN THAT SPACE, INCLUDING ANY WALL SPACE THAT IS TWO FEET OR MORE IN WIDTH.
4. AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND IN BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, DETACHED GARAGES AND AT EXTERIOR SIDE OF EGRESS DOORS.
5. STAIRWAY LIGHTING, WHERE THE DIFFERENCE BETWEEN FLOOR LEVELS REQUIRES SIX OR MORE STAIR RISERS, SHALL BE CONTROLLED BY A WALL LIGHT SWITCH AT EACH FLOOR LEVEL.
6. SMOKE DETECTORS TO BE POWERED BY 110V CURRENT, CONNECTED TO HOUSE ELECTRICAL SYSTEM AND EQUIPPED WITH HUSH BUTTONS. INTERCONNECT ALL DETECTORS SO IF ONE TRIPS THEY WILL ALL SOUND. THEY SHALL ALSO HAVE A BATTERY BACKUP AND BE LOCATED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SLEEPING ROOM AND ON EACH FLOOR LEVEL, INCLUDING THE BASEMENT. SMOKE ALARMS SHALL MEET THE REQUIREMENTS OF O.R.S.C. R314. CARBON MONOXIDE DETECTORS SHALL MEET O.R.S.C. R315.
7. OTHER REQUIREMENTS:  
KITCHENS: RECEPTACLE OUTLETS, WITH GFI PROTECTIONS, SHALL BE INSTALLED EVERY 24" ALONG ALL COUNTER SPACES THAT MEASURE 12" OR WIDER AND NOT MORE THAN 18" ABOVE COUNTERTOP.  
BATHROOMS: RECEPTACLE OUTLET TO BE ON AT LEAST ONE WALL, WITH GFI PROTECTION, ADJACENT TO EACH BASIN LOCATION.  
HALLWAYS: AT LEAST ONE RECEPTACLE TO BE PLACED IN HALLWAYS TO FEET IN LENGTH OR MORE.  
WET LOCATIONS: RECEPTACLES INSTALLED IN WET LOCATIONS SHALL BE IN A WEATHER PROOF ENCLOSURE.  
OUTDOORS: AT LEAST ONE RECEPTACLE OUTLET, WITH GFI PROTECTION, SHALL BE INSTALLED OUTDOORS AT THE FRONT AND BACK OF EACH DWELLING UNIT HAVING DIRECT ACCESS TO GRADE WITH WEATHER TIGHT ENCLOSURE.  
HVAC OUTLET: A CONVENIENCE RECEPTACLE OUTLET SHALL BE INSTALLED FOR THE SERVICING OF HEATING, AIR CONDITIONING AND REFRIGERATION EQUIPMENT LOCATED IN ATTICS AND CRAWL SPACES.  
ISLAND COUNTERS: AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND WITH A LONG DIMENSION OF 24" OR GREATER AND SHORT DIMENSION OF 12" OR GREATER.  
GARAGE: INSTALL ONE OUTLET ON EACH GARAGE WALL A MINIMUM OF 18" ABOVE SLAB.

GENERAL NAILING SCHEDULE (OR REFER TO ATTACHED IBC TABLE 2304.9.1)  
ANY NAILING SPECIFICATIONS ON PLANS TAKES PRECEDENCE OVER THIS SCHEDULE

CONNECTION	NAILING <sup>1</sup>
1. JOIST TO SILL OR GIRDER, TOENAIL	3-8d
2. BRIDGING TO JOIST, TOENAIL EACH END	2-8d
3. 1" X 6" (25mm x 152mm) SUBFLOOR LESS TO EACH JOIST, FACE NAIL	2-8d
4. WIDER THAN 1" X 6" (25mm x 152mm) SUBFLOOR TO EACH JOIST, FACE NAIL	3-8d
5. 2" (51mm) SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d
6. SOLE PLATE TO JOIST OR BLOCKING TYPICAL FACE NAIL	16d AT 16" (406mm) O.C.
SOLE PLATE TO JOIST OR BLOCKING, AT BRACED WALL PANELS	3-16d AT 16" (406mm)
7. TOP PLATE TO STUD, END NAIL	2-16d
8. STUD TO SOLE PLATE	4-8d, TOENAIL OR 2-16d, END NAIL
9. DOUBLE STUDS, FACE NAIL	16d AT 24" (610mm) O.C.
10. DOUBLED TOP PLATES, TYPICAL FACE NAIL	16d AT 24" (406mm) O.C.
DOUBLE TOP PLATES, LAP SPLICE	8-16d
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	3-8d
12. RIM JOIST TO TOP PLATE, TOENAIL	8d AT 6" (152mm) O.C.
13. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	2-16d
14. CONTINUOUS HEADER, TWO PIECES	16d AT 16" (406mm) O.C. ALONG EACH EDGE
15. CEILING JOISTS TO PLATE, TOENAIL	3-8d
16. CONTINUOUS HEADER TO STUD, TOENAIL	4-8d
17. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
18. CEILING JOISTS TO PARALLEL RAFTERS FACE NAIL	3-16d
19. RAFTER TO PLATE, TOENAIL	3-8d
20. 1" (25mm) BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d
21. 1" X 8" (25mm x 203mm) SHEATHING OR LESS TO EACH BEARING, FACE NAIL	2-8d
22. WIDER THAN 1" X 8" (25mm x 203mm) SHEATHING TO EACH BEARING, FACE NAIL	3-8d
23. BUILT UP CORNER STUDS	16d AT 24" (610mm) O.C.
24. BUILT UP GIRDER AND BEAMS	20d AT 32" (813mm) O.C. AT TOP AND BOTTOM AND STAGGERED 2-20d AT ENDS AND AT EACH SPLICE
25. 2" (51mm) PLANKS	2-16d AT EACH BEARING
26. WOOD STRUCTURAL PANELS AND PARTICLEBOARD, <sup>2</sup> SUBFLOOR AND WALL SHEATHING (TO FRAMING) 1/2" (12.7mm) AND LESS 19/32" - 3/4" (15mm-19mm) 7/8" - 1" (22mm-25mm) 1 1/8" - 1 1/4" (29mm-32mm) COMBINATION SUBFLOOR-UNDERLAYMENT (TO FRAMING) 3/4" (19mm) AND LESS 7/8" - 1" (22mm-25mm) 1 1/8" - 1 1/4" (29mm-32mm)	6d <sup>3</sup> 8d <sup>4</sup> OR 6d <sup>5</sup> 8d <sup>3</sup> 10d <sup>4</sup> OR 8d <sup>5</sup> 6d <sup>5</sup> 8d <sup>5</sup> 10d <sup>4</sup> OR 8d <sup>5</sup>
27. PANEL SIDING (TO FRAMING) 1/2" (12.7mm) OR LESS 5/8" (16mm)	6d <sup>6</sup> 8d <sup>6</sup>
28. FIBERBOARD SHEATHING: 1/2" (12.7mm)	NO. 11 ga. <sup>8</sup> 6d <sup>4</sup> NO. 16 ga. <sup>9</sup> NO. 11 ga. <sup>8</sup> 8d <sup>4</sup> NO. 16 ga. <sup>9</sup>
25/32" (20mm)	
29. INTERIOR PANELING 1/4" (6.4mm) 3/8" (9.5mm)	4d <sup>10</sup> 6d <sup>11</sup>

<sup>1</sup>Common or box nails may be used except where otherwise stated.  
<sup>2</sup>Nails spaced at 6 inches (152mm) on center at edges, 12 inches (305mm) at intermediate supports except 6 inches (152mm) at all supports where spans are 48 inches (1219mm) or more. For nailing of wood structural panel and particleboard diaphragms and shear walls, refer to Sections 2315.3.3 and 2315.4 Nails for wall sheathing may be common, box or casing.  
<sup>3</sup>Common or deformed shank.  
<sup>4</sup>Common.  
<sup>5</sup>Deformed shank.  
<sup>6</sup>Corrosion-resistant siding or casing nails conforming to the requirements of Section 2304.3.  
<sup>7</sup>Fasteners spaced 3 inches (76mm) on center at exterior edges and 6 inches (152mm) on center at intermediate supports.  
<sup>8</sup>Corrosion-resistant roofing nails with 7/16 inch diameter (11mm) head and 1-1/2 inch (38mm) length for 1/2 inch (12.7mm) sheathing and 1-3/4 inch (44mm) length for 25/32 inch (20mm) sheathing conforming to the requirements of Sections 2304.3.  
<sup>9</sup>Corrosion-resistant staples with nominal 7/16 inch (11mm) crown and 1-1/8 inch (29mm) length for 1/2 inch (12.7mm) sheathing and 1 1/2 inch (38mm) length for 25/32 inch (20mm) sheathing conforming to the requirements of Section 2304.3.  
<sup>10</sup>Panel supports at 16 inches (406mm) [20 inches (508mm) if strength axis in the long direction of the panel, unless otherwise marked]. Casing or finish nails spaced 6 inches (152mm) on panel edges, 12 inches (305mm) at intermediate supports.  
<sup>11</sup>Panel supports at 24 inches (610mm). Casing or finish nails spaced 6 inches (152mm) on panel edges, 12 inches (305mm) at intermediate supports.

FINISH NOTES

1. TUB AND SHOWER RECESSES SHALL HAVE 1/2" WATERPROOF GYPSUM WALL BOARD. WALLS TO HAVE HARD, MOISTURE RESISTANCE SURFACE UP TO 6'-0" MINIMUM.
2. ALL EXTERIOR DOORS, INCLUDING ANY DOORS INTO AN ATTACHED GARAGE TO BE SOLID CORE AND FITTED WITH A SINGLE CYLINDER, ONE INCH THROW DEADBOLTS, OPERATED BY A LEVER FROM THE INSIDE AND OPERATED BY A KEY. MOUNT DEADBOLTS 36" TO 48" ABOVE FINISHED FLOOR. OWNER IS RESPONSIBLE FOR SECURITY ISSUES SUCH AS DOOR LOCKS, ALARMS AND VIEW HOLES.
3. ALL FINISH ISSUES SHALL BE AGREED UPON BY CONTRACTOR AND OWNER.
4. ALL EXTERNAL HORIZONTAL TRIM SHALL HAVE GALVANIZED Z-FLASHING TO PREVENT WATER FROM ENTERING WALL.
5. ALL JOINTS SHALL BE PROPERLY SEALED AND ALL SURFACES SHALL BE PRIMED AND PAINTED WITH A MINIMUM OF TWO FINISH COATS, COLOR BY OWNER.
6. WALLS SEPARATING GARAGE AND LIVING SPACE SHALL BE 1 HOUR FIRE RATED CONSTRUCTION, WITH SOLID CORE FIRE DOORS.

MECHANICAL NOTES

1. ALL MECHANICAL UNITS SHALL MEET THE REQUIREMENTS OF THE O.R.S.C.
2. HVAC INSTALLER SHALL APPROVE FOUNDATION DESIGN, REQUESTING ANY REQUIRED CHANGES PRIOR TO CONSTRUCTION. ENGINEER SHALL APPROVE ANY STRUCTURAL MODIFICATIONS.
3. EXHAUST FANS, RANGE HOOD, AND CLOTHES DRYER SHALL VENT TO OUTSIDE OF BUILDING. EXHAUST FANS SHALL BE INSTALLED IN ALL RESTROOMS AND LAUNDRY ROOM AS A MINIMUM.
4. PROVIDE OUTSIDE COMBUSTION AIR VENTS (WITH SCREEN & BACKDAMPER) FOR ALL FIREPLACES, WOODSTOVES AND ANY APPLIANCE WITH AN OPEN FLAME PER IRC AND MANUFACTURERS SPECIFICATIONS.

CONCRETE FLOORS & SLABS

1. ALL INTERIOR CONCRETE FLOORS ARE TO HAVE A SMOOTH HARD TROWELED FINISH.
2. ALL EXTERIOR SLABS SHALL HAVE BROOM FINISH.

UTILITY LOCATES

(48 HOUR NOTICE PRIOR TO EXCAVATION)

OREGON LAW REQUIRES YOU TO FOLLOW THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH 952-001-0100. (YOU MAY OBTAIN COPIES OF THE RULES ROM THE CENTER BY CALLING 503 246 1987.)

ONE CALL SYSTEM.....1 800 332 2344

ON LINE .... <http://www.callbeforeyoudig.org/>

ACCESS NOTES

1. PROVIDE 22"x30" MINIMUM ATTIC ACCESS PER ORSC R807.
2. PROVIDE 18"x24" MINIMUM OPENING FOR CRAWL SPACE ACCESS PER ORSC R408.

APPLICABILITY

THE PURPOSE OF THIS SHEET IS TO PROVIDE GENERAL INFORMATION AND REQUIREMENTS FOR ITEMS THAT ARE NOT SPECIFICALLY ADDRESSED WITHIN THE DESIGN PLANS. NOT ALL OF THE GENERAL NOTES OR SPECIFICATIONS PROVIDED ON THIS SHEET ARE APPLICABLE TO THIS PROJECT. SPECIFIC INFORMATION INCLUDED IN THE DESIGN PLANS TAKES PRECEDENT OVER THE GENERAL NOTES PROVIDED ON THIS SHEET. FOR ASPECTS OF THE PROJECT THAT ARE NOT SPECIFICALLY ADDRESSED IN THE DESIGN PLANS OR ON THIS SHEET, THE CONTRACTOR SHOULD FOLLOW COMMON INDUSTRY STANDARDS AND LEVEL OF CARE FOR THIS TYPE OF NEW CONSTRUCTION. FOR SUCH ITEMS, THE CONTRACTOR SHALL PROVIDE A SUBMITTAL THAT DESCRIBES THE PROPOSED WORK IN DETAIL. APPROVAL OF THIS SUBMITTAL BY THE OWNER OR THEIR REPRESENTATIVE IS REQUIRED PRIOR TO PROCEEDING WITH ANY CONSTRUCTION ACTIVITY. CONTACT THE OWNER OR THEIR REPRESENTATIVE WITH ANY QUESTIONS OR UNCERTAINTIES PRIOR TO PROCEEDING WITH BIDDING OR EXECUTING ANY CONSTRUCTION ACTIVITY.

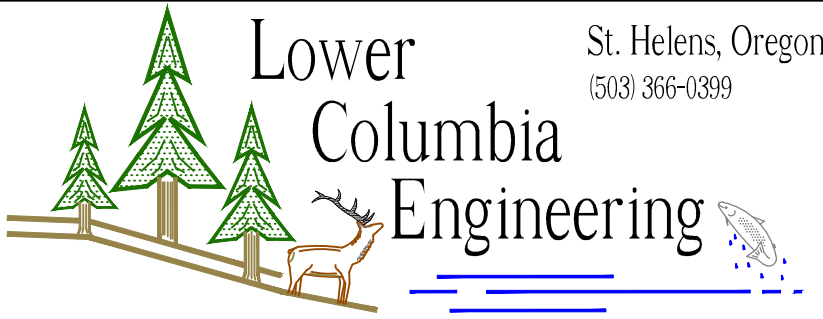
FLOOD NOTES

1. DETERMINATION OF BASE FLOOD ELEVATION IS THE RESPONSIBILITY OF OTHERS.
2. ALL UTILITIES SHALL BE LOCATED 1'-0" MINIMUM ABOVE THE BASE FLOOD ELEVATION.
3. ALL WOOD THAT IS LOWER THAN 1'-0" ABOVE THE BASE FLOOD ELEVATION SHALL BE PRESSURE TREATED.
4. ALL STEEL FASTENERS AND HARDWARE THAT IS LOWER THAN 1'-0" ABOVE THE BASE FLOOD ELEVATION SHALL BE GALVANIZED PER APPLICABLE ASTM STANDARD.

DATE: 03/01/2022  
PRELIMINARY  
NOT  
FOR CONSTRUCTION

DATE: 03/01/2022  
REVISED PRINT  
VOID ALL PREVIOUS

REV.	REVISION RECORD	DATE
A	UPDATE PER PRE-APPLICATION	11/18/2021
B	REISSUE FOR LAND USE SUBMITTAL	03/01/2022



PROJ. NO.	3098	GENERAL NOTES
DWG. BY	AAW	SCAPPOOSE FOOD CART POD
APPR. BY	CCPOD, LLC	SHEET
FILE	D-3098-G-2-B	DATE 10/27/2021

G-2



LEGEND

(E)

EXISTING

(E) MINOR CONTOUR

(E) MAJOR CONTOUR

EXISTING FENCE

(E) FIRE HYDRANT

PROPERTY LINE

ADJACENT PROPERTY LINE

(E) SANITARY SEWER

(E) WATER MAIN

(E) OVERHEAD WIRE

(E) SANITARY MANHOLE

(E) CATCH BASIN

(E) TREE (SIZE VARIES)

(E) CONCRETE

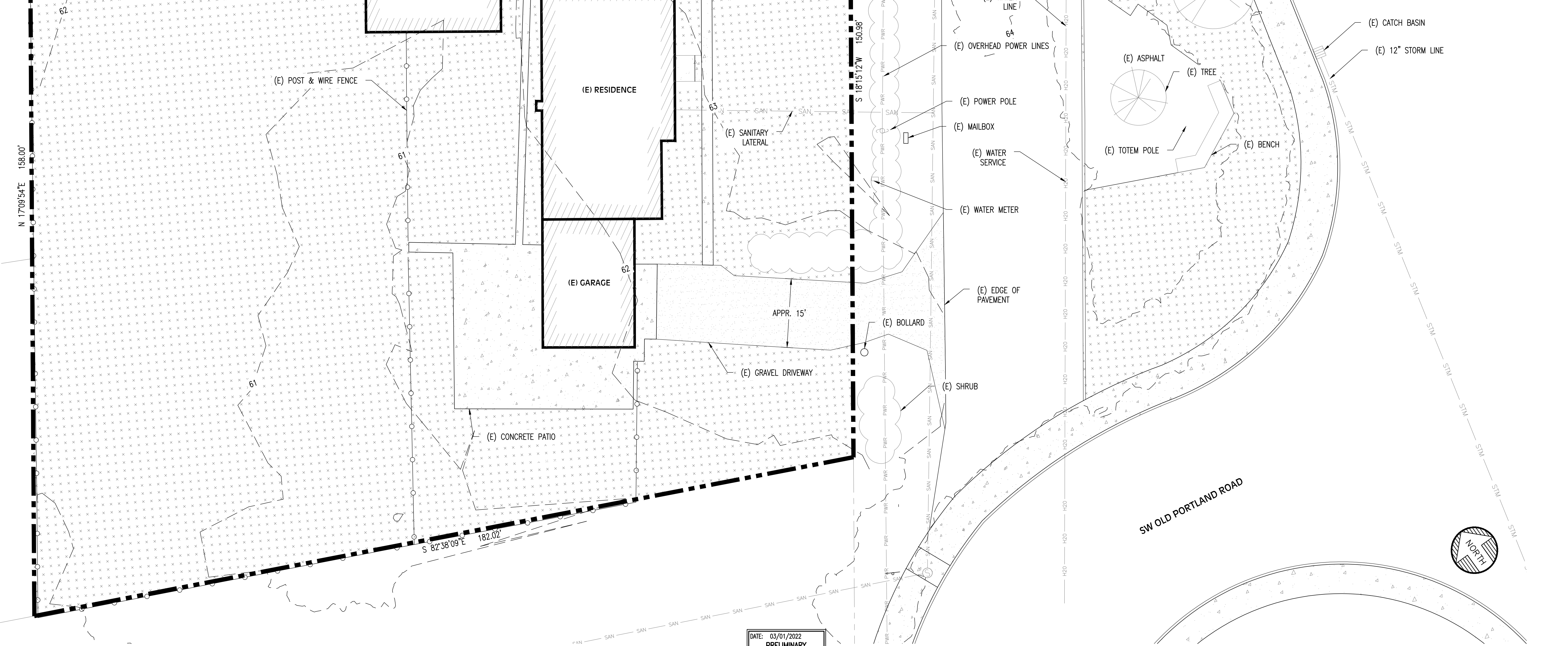
(E) LANDSCAPED AREA

EXISTING CONDITIONS NOTES

1. EXISTING STRUCTURES ON PROPERTY NOT CURRENTLY OCCUPIED OR IN USE.

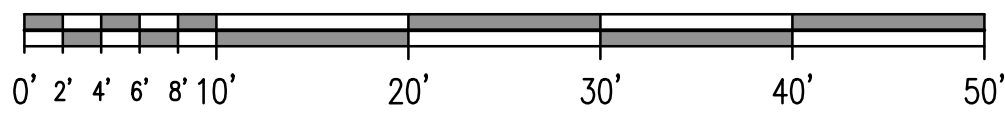
2. GENERAL CONTRACTOR TO OBTAIN AND COORDINATE ALL DEMOLITION PERMIT(S) AS REQUIRED.

3. DEMO PERMITS OBTAINED ARE CONSIDERED SEPARATE FROM THE SCOPE OF WORK FOR DEVELOPMENT. EXISTING CONDITIONS SHOWN FOR REFERENCE ONLY.



N 17°09'54"E 158.00'

EXISTING CONDITIONS PLAN  
SCALE: 1" = 10'-0"



DATE: 03/01/2022  
PRELIMINARY  
NOT  
FOR CONSTRUCTION

DATE: 03/01/2022  
REVISED PRINT  
VOID ALL PREVIOUS

REV.	REVISION RECORD	DATE
A	UPDATE PER PRE-APPLICATION	11/04/2021
B	UPDATES PER CHECK-SET	11/18/2021
C	FIX IMPROPER NORTH ARROW	03/01/2022

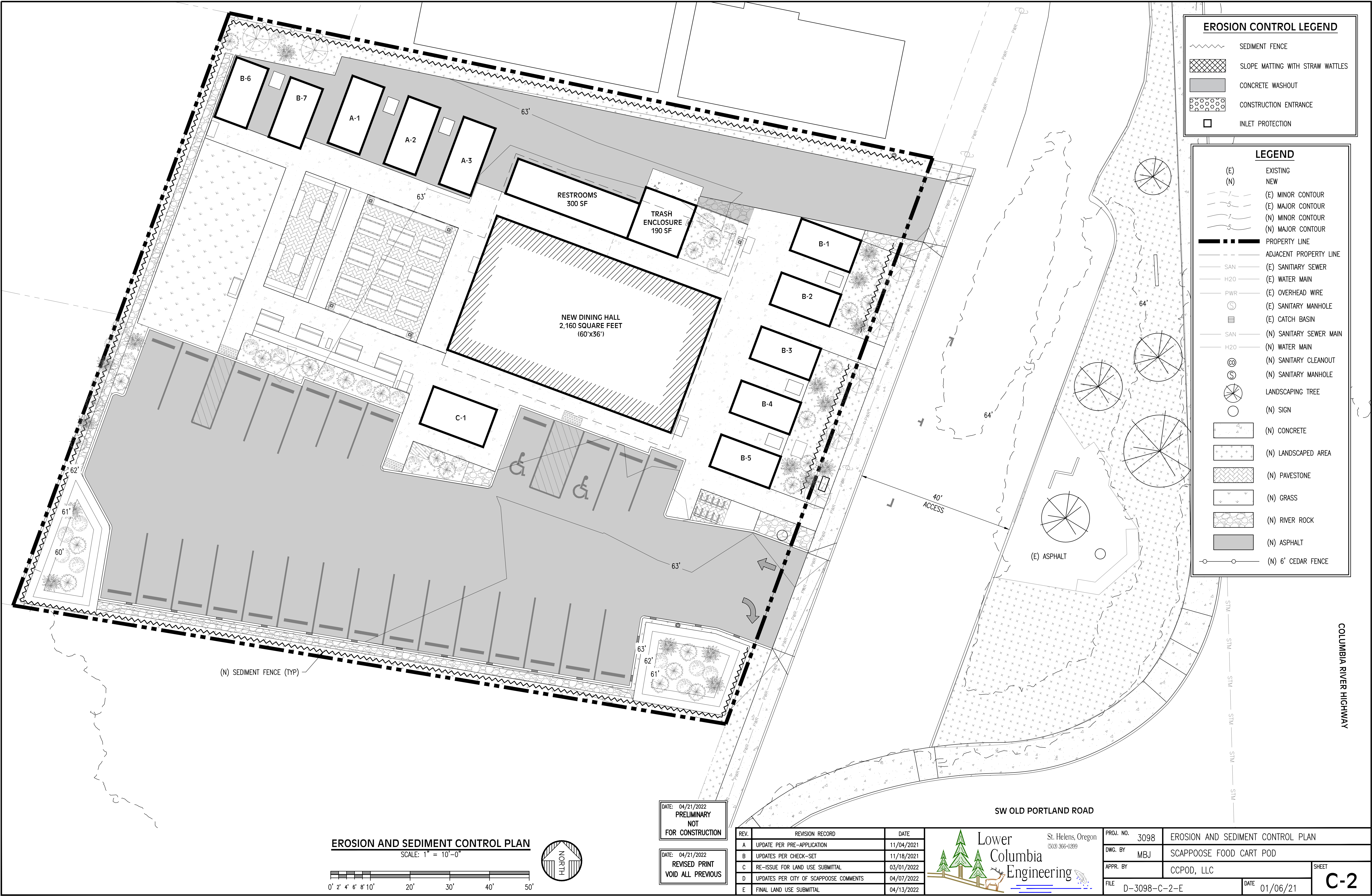
Lower  
Columbia  
Engineering

St. Helens, Oregon  
(503) 366-0399

PROJ. NO.	3098	EXISTING CONDITIONS PLAN	
DWG. BY	MBJ	SCAPPOOSE FOOD CART POD	
APPR. BY		CCPOD, LLC	SHEET
FILE	D-3098-C-1-C	DATE	12/17/20

C-1





EROSION CONTROL LEGEND

SEDIMENT FENCE

SLOPE MATTING WITH STRAW WATTLES

CONCRETE WASHOUT

CONSTRUCTION ENTRANCE

INLET PROTECTION

LEGEND

(E)

EXISTING

(N)

NEW

(E) MINOR CONTOUR

(E) MAJOR CONTOUR

(N) MINOR CONTOUR

(N) MAJOR CONTOUR

PROPERTY LINE

ADJACENT PROPERTY LINE

SAN (E) SANITARY SEWER

H2O (E) WATER MAIN

PWR (E) OVERHEAD WIRE

(E) SANITARY MANHOLE

(E) CATCH BASIN

SAN (N) SANITARY SEWER MAIN

H2O (N) WATER MAIN

(N) SANITARY CLEANOUT

(N) SANITARY MANHOLE

LANDSCAPING TREE

(N) SIGN

(N) CONCRETE

(N) LANDSCAPED AREA

(N) PAVESTONE

(N) GRASS

(N) RIVER ROCK

(N) ASPHALT

(N) 6' CEDAR FENCE

EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1" = 10'-0"

0'

2'

4'

6'

8'

10'

20'

30'

40'

50'

NORTH

DATE: 04/21/2022  
PRELIMINARY  
NOT  
FOR CONSTRUCTION

DATE: 04/21/2022  
REVISED PRINT  
VOID ALL PREVIOUS

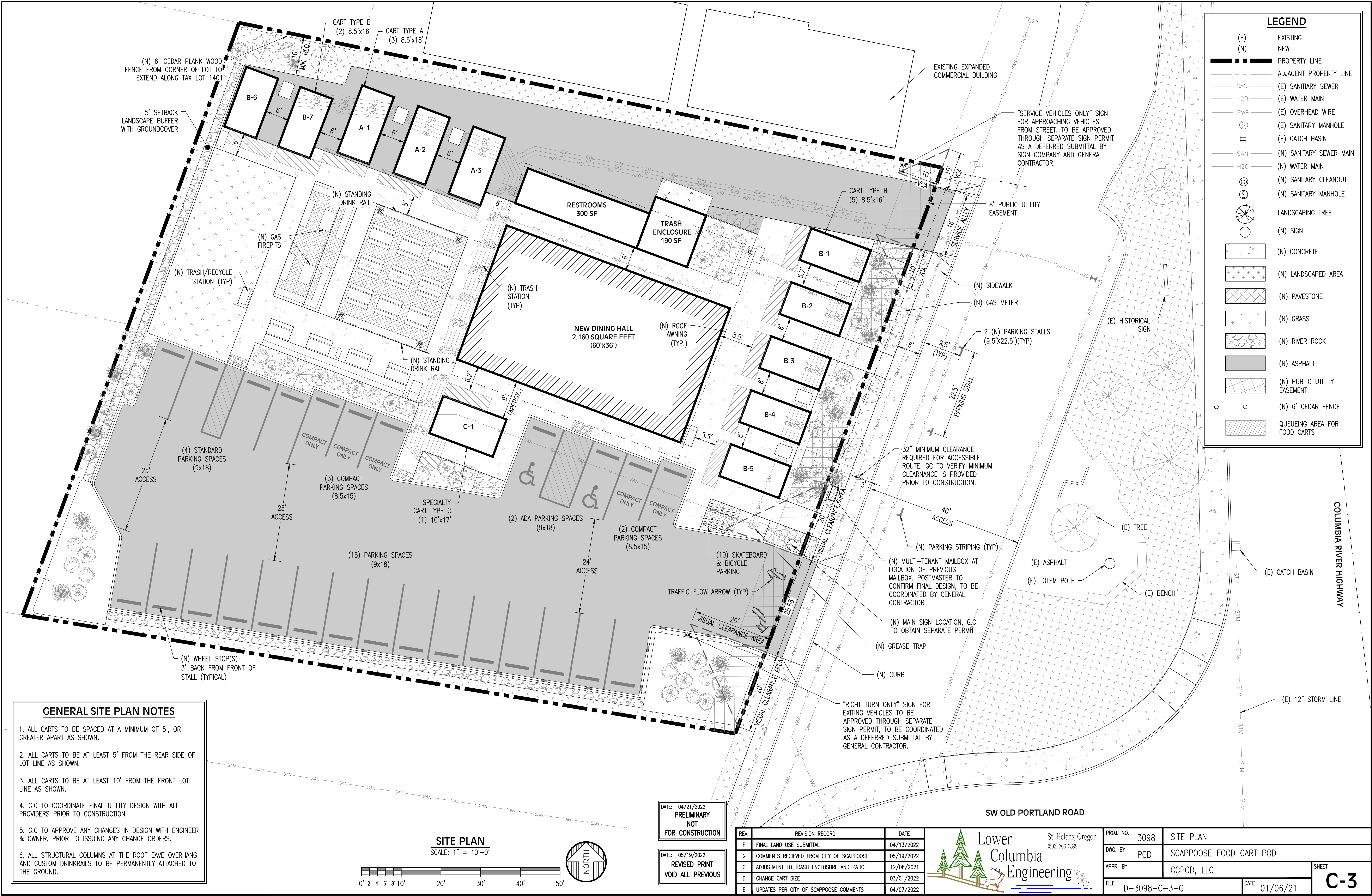
REV.	REVISION RECORD	DATE
A	UPDATE PER PRE-APPLICATION	11/04/2021
B	UPDATES PER CHECK-SET	11/18/2021
C	RE-ISSUE FOR LAND USE SUBMITTAL	03/01/2022
D	UPDATES PER CITY OF SCAPPOOSE COMMENTS	04/07/2022
E	FINAL LAND USE SUBMITTAL	04/13/2022

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PROJ. NO.	3098	EROSION AND SEDIMENT CONTROL PLAN
DWG. BY	MBJ	SCAPPOOSE FOOD CART POD
APPR. BY		CCPOD, LLC
FILE	D-3098-C-2-E	DATE 01/06/21

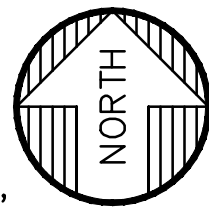




### GENERAL SITE PLAN NOTES

1. ALL CARTS TO BE SPACED AT A MINIMUM OF 5', OR GREATER APART AS SHOWN.
2. ALL CARTS TO BE AT LEAST 5' FROM THE REAR SIDE OF LOT LINE AS SHOWN.
3. ALL CARTS TO BE AT LEAST 10' FROM THE FRONT LOT LINE AS SHOWN.
4. G.C TO COORDINATE FINAL UTILITY DESIGN WITH ALL PROVIDERS PRIOR TO CONSTRUCTION.
5. G.C TO APPROVE ANY CHANGES IN DESIGN WITH ENGINEER & OWNER, PRIOR TO ISSUING ANY CHANGE ORDERS.
6. ALL STRUCTURAL COLUMNS AT THE ROOF EAVE OVERHANG AND CUSTOM DRINKRAILS TO BE PERMANENTLY ATTACHED TO THE GROUND.

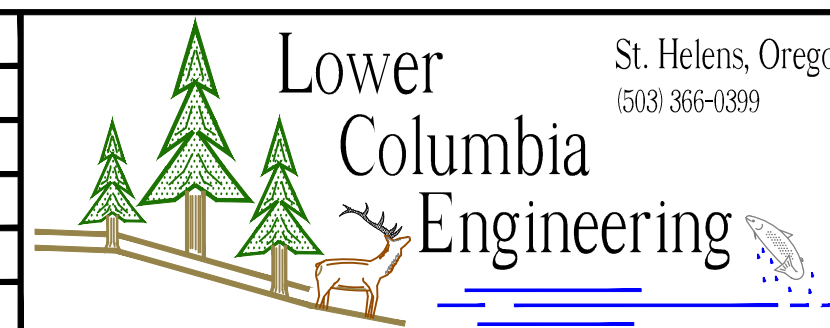
**SITE PLAN**  
SCALE: 1" = 10'-0"



DATE: 04/21/2022  
PRELIMINARY  
NOT  
FOR CONSTRUCTION

DATE: 05/19/2022  
REVISED PRINT  
VOID ALL PREVIOUS

REV.	REVISION RECORD	DATE
F	FINAL LAND USE SUBMITTAL	04/13/2022
G	COMMENTS RECEIVED FROM CITY OF SCAPPOOSE	05/19/2022
C	ADJUSTMENT TO TRASH ENCLOSURE AND PATIO	12/06/2021
D	CHANGE CART SIZE	03/01/2022
E	UPDATES PER CITY OF SCAPPOOSE COMMENTS	04/07/2022

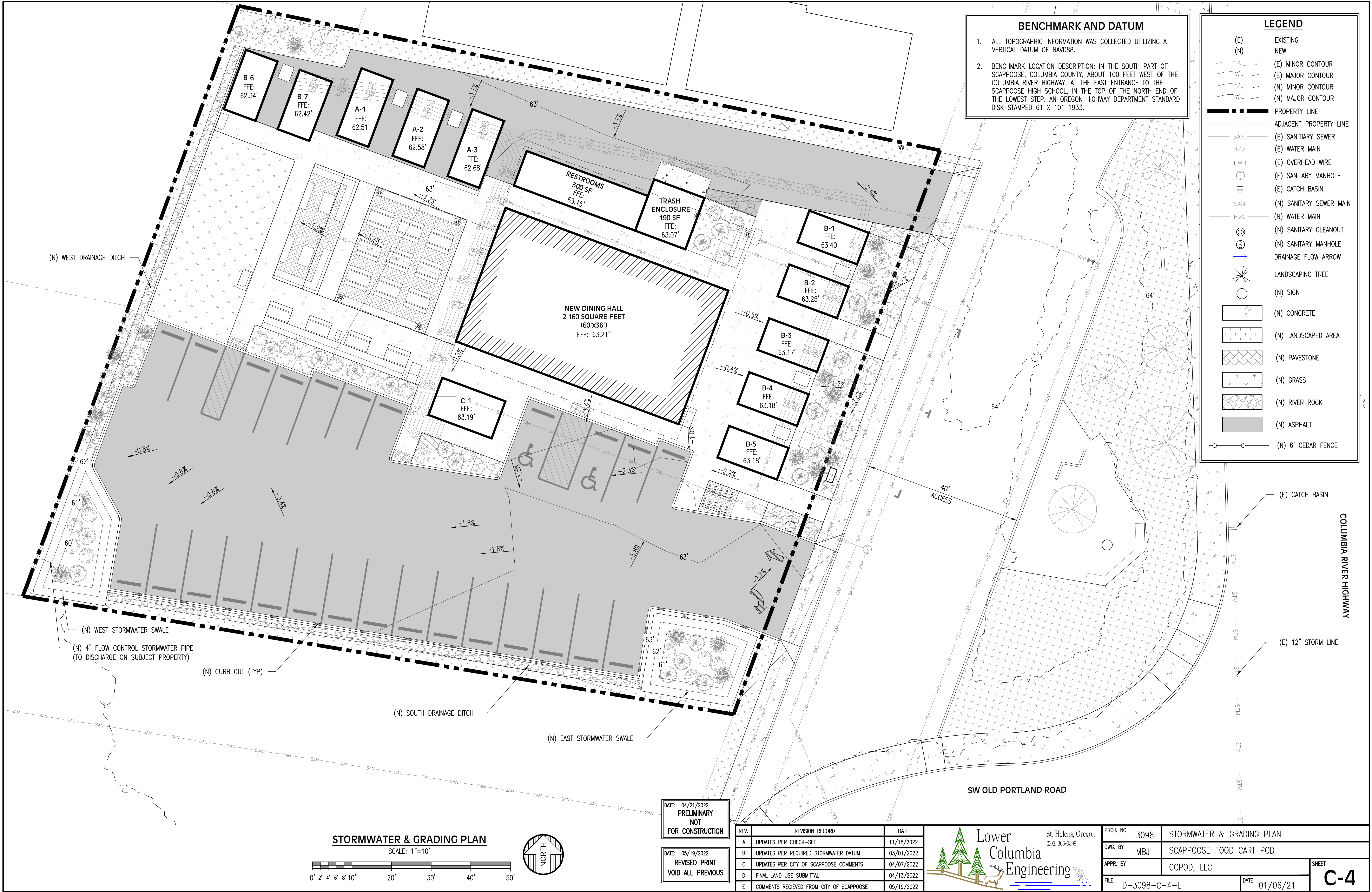


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PROJ. NO.	3098	SITE PLAN
DWG. BY	PCD	SCAPPOOSE FOOD CART POD
APPR. BY	CCPOD, LLC	
FILE	D-3098-C-3-G	DATE 01/06/21

SHEET  
**C-3**







LEGEND

(E)

(N)

EXISTING

NEW

---

---

PROPERTY LINE

ADJACENT PROPERTY LINE

---

---

SAN

H2O

PWR

(E) SANITARY SEWER

(E) WATER MAIN

(E) OVERHEAD WIRE

⊙

⊙

⊙

(E) SANITARY MANHOLE

(E) CATCH BASIN

(N) SANITARY CLEANOUT

⊙

⊙

⊙

(N) SANITARY MANHOLE

(E) TREE

(N) SIGN

▭

▭

▭

▭

▭

▭

(N) CONCRETE

(N) LANDSCAPED AREA

(N) PAVESTONE

(N) GRASS

(N) RIVER ROCK

(N) ASPHALT

---

---

(N) 6' CEDAR FENCE

(N) 6' CEDAR PLANK WOOD FENCE FROM CORNER OF LOT TO EXTEND ALONG TAX LOT 1401

(N) LANDSCAPE TREE AS REQUIRED BY THE SCAPPOOSE MUNICIPAL CODE SECTION 17.090 (TYPICAL OF 2)

(N) DECORATIVE PALM TREE: WINDMILL PALM

(N) SHRUBS AND GROUND COVER AT NEW DRIVEWAY CURB PER ODOT APPROVAL

(N) DECIDUOUS STREET TREES: SUMMER SPRITE LINDENS TO BE PLANTED EVERY 15' AS SHOWN. TREES MUST BE AT LEAST 10' TALL AT THE TIME OF PLANTING. (TYP.)

32" MINIMUM CLEARANCE REQUIRED FOR ACCESSIBLE ROUTE. CC TO VERIFY MINIMUM CLEARANCE IS PROVIDED PRIOR TO CONSTRUCTION.

(8) SKATEBOARD & BICYCLE PARKING

(N) STORMWATER SWALE

(E) ASPHALT

(E) TOTEM POLE

(E) BENCH

COLUMBIA RIVER HIGHWAY

SW OLD PORTLAND ROAD

TREE & SHRUB TYPE LEGEND

⊙

⊙

STREET TREE: SUMMER SPRITE LINDEN

DECIDUOUS STREET TREE AT 15 FEET (0.C)

NO LESS THAN 10 FEET TALL AT TIME OF PLANTING

FOR THE STREET TREES

20'x15' AT MATURITY

(QUANTITY: 5)

⊙

⊙

DECORATIVE TREE: WINDMILL PALM

HARDY PALM TREE

20'x10' AT MATURITY

(QUANTITY: 1)

⊙

⊙

DECORATIVE 5 GALLON SHRUB:

DWARF FOUNTAIN GRASS

3'x2' AT MATURITY

(QUANTITY: 18+)

⊙

⊙

DECORATIVE 5 GALLON SHRUB:

MUGO PINE

4'x8' AT MATURITY

(QUANTITY: 21)

⊙

⊙

DECORATIVE LOW VISUAL BUFFER:

CARAX RED ROOSTER ORNAMENTAL GRASS

2' TALL AT MATURITY

(INFILL LANDSCAPE BETWEEN SHRUBS & TREES)

⊙

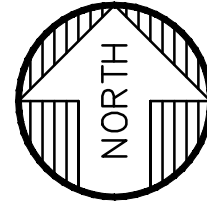
⊙

POTTED DIVISION SHRUB AT VEHICULAR DIVIDER:

AZALEA 'KLONDYKE'

4-6' TALL AT MATURITY

LANDSCAPING PLAN  
SCALE: 1" = 10'-0"



DATE: 04/21/2022  
PRELIMINARY  
NOT  
FOR CONSTRUCTION

DATE: 04/21/2022  
REVISED PRINT  
VOID ALL PREVIOUS

REV.	REVISION RECORD	DATE
A	UPDATES PER CHECK-SET	11/18/2021
B	UPDATE INCORRECT NORTH ARROW	03/01/2022
C	UPDATES PER CITY OF SCAPPOOSE COMMENTS	04/07/2022
D	FINAL LAND USE SUBMITTAL	04/13/2022

Lower Columbia Engineering

St. Helens, Oregon  
(503) 366-0399

PROJ. NO.	3098	LANDSCAPING PLAN
DWG. BY	CAB	SCAPPOOSE FOOD CART POD
APPR. BY	CCPOD, LLC	
FILE	D-3098-C-5-D	DATE 09/08/21

SHEET  
**C-5**



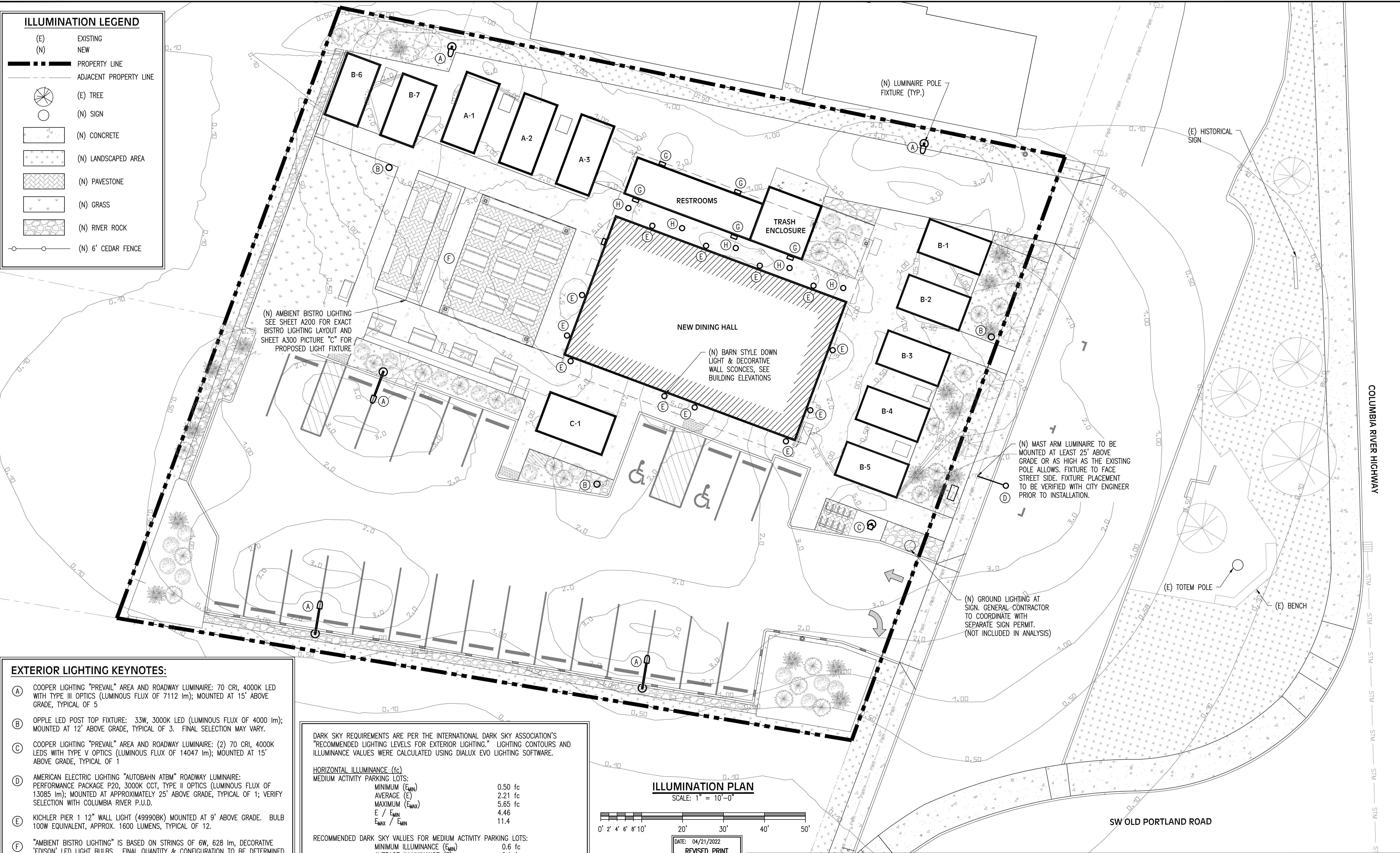
**ILLUMINATION LEGEND**

(E) EXISTING  
(N) NEW

--- PROPERTY LINE  
--- ADJACENT PROPERTY LINE

(E) TREE  
(N) SIGN

(N) CONCRETE  
(N) LANDSCAPED AREA  
(N) PAVESTONE  
(N) GRASS  
(N) RIVER ROCK  
(N) 6' CEDAR FENCE



**EXTERIOR LIGHTING KEYNOTES:**

- (A)** COOPER LIGHTING "PREVAIL" AREA AND ROADWAY LUMINAIRE: 70 CRI, 4000K LED WITH TYPE III OPTICS (LUMINOUS FLUX OF 7112 lm); MOUNTED AT 15' ABOVE GRADE, TYPICAL OF 5
- (B)** OPPLER LED POST TOP FIXTURE: 33W, 3000K LED (LUMINOUS FLUX OF 4000 lm); MOUNTED AT 12' ABOVE GRADE, TYPICAL OF 3. FINAL SELECTION MAY VARY.
- (C)** COOPER LIGHTING "PREVAIL" AREA AND ROADWAY LUMINAIRE: (2) 70 CRI, 4000K LEDS WITH TYPE V OPTICS (LUMINOUS FLUX OF 14047 lm); MOUNTED AT 15' ABOVE GRADE, TYPICAL OF 1
- (D)** AMERICAN ELECTRIC LIGHTING "AUTOBAHN ATBM" ROADWAY LUMINAIRE: PERFORMANCE PACKAGE P20, 3000K CCT, TYPE II OPTICS (LUMINOUS FLUX OF 13085 lm); MOUNTED AT APPROXIMATELY 25' ABOVE GRADE, TYPICAL OF 1; VERIFY SELECTION WITH COLUMBIA RIVER P.U.D.
- (E)** KICHLER PIER 1 12" WALL LIGHT (49990BK) MOUNTED AT 9' ABOVE GRADE. BULB 100W EQUIVALENT, APPROX. 1600 LUMENS, TYPICAL OF 12.
- (F)** "AMBIENT BISTRO LIGHTING" IS BASED ON STRINGS OF 6W, 628 lm, DECORATIVE 'EDISON' LED LIGHT BULBS. FINAL QUANTITY & CONFIGURATION TO BE DETERMINED.
- (G)** LITHONIA D-SERIES SIZE 1 WALL LUMINAIRE (DSXW1 LED WITH 10LED), TYPE T2M OPTICS, 3000K, 1349 LUMENS. TYPICAL OF 5.
- (H)** KICHLER PIER 1 12" PENDANT LIGHT (49992BK) MOUNTED AT 11'-6" ABOVE GRADE. BULB 100W EQUIVALENT, APPROX. 1600 LUMENS, TYPICAL OF 5.

DARK SKY REQUIREMENTS ARE PER THE INTERNATIONAL DARK SKY ASSOCIATION'S "RECOMMENDED LIGHTING LEVELS FOR EXTERIOR LIGHTING." LIGHTING CONTOURS AND ILLUMINANCE VALUES WERE CALCULATED USING DIALUX EVO LIGHTING SOFTWARE.

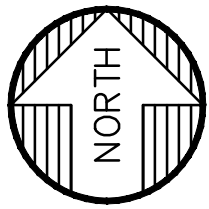
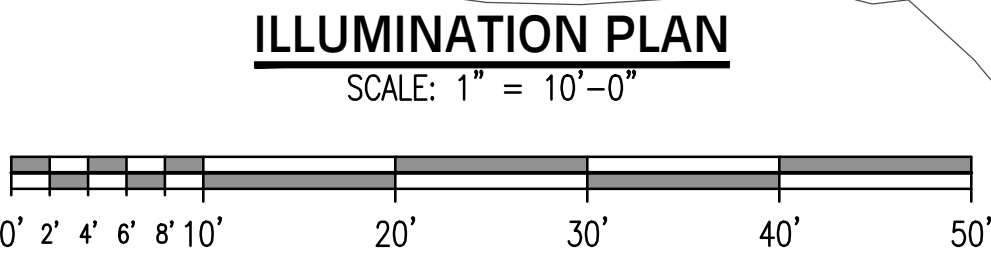
HORIZONTAL ILLUMINANCE (fc)

MEDIUM ACTIVITY PARKING LOTS:	
MINIMUM (E <sub>MIN</sub> )	0.50 fc
AVERAGE (E)	2.21 fc
MAXIMUM (E <sub>MAX</sub> )	5.65 fc
E / E <sub>MIN</sub>	4.46
E <sub>MAX</sub> / E <sub>MIN</sub>	11.4

RECOMMENDED DARK SKY VALUES FOR MEDIUM ACTIVITY PARKING LOTS:

MINIMUM ILLUMINANCE (E <sub>MIN</sub> )	0.6 fc
AVERAGE ILLUMINANCE (E)	2.4 fc
UNIFORMITY RATIO (E / E <sub>MIN</sub> )	4/1

SELECTED FIXTURES ARE DARK SKY COMPLIANT. PROVIDE CUT-OFF SHIELDS AT EACH LIGHT FIXTURE AS REQUIRED TO COMPLY WITH I.E.S. AND DARK SKY STANDARDS SUCH THAT NO GLARE SHINES INTO PUBLIC RIGHT-OF-WAYS OR NEARBY RESIDENCES.



DATE: 04/21/2022  
**REVISED PRINT**  
VOID ALL PREVIOUS

DATE: 04/21/2022  
**PRELIMINARY**  
NOT FOR CONSTRUCTION

REV.	REVISION RECORD	DATE
A	UPDATES PER CHECK-SET	11/18/2021
B	UPDATE ILLUMINATION PER CITY COMMENTS	03/01/2022
C	UPDATES PER CITY OF SCAPPOOSE COMMENTS	04/07/2022
D	FINAL LAND USE SUBMITTAL	04/13/2022

**Lower Columbia Engineering**  
St. Helens, Oregon  
(503) 366-0399

PROJ. NO.	3098	ILLUMINATION PLAN
DWG. BY	CAB	SCAPPOOSE FOOD CART POD
APPR. BY	CCPOD, LLC	
FILE	D-3098-C-6-D	DATE 09/08/21

**SHEET C-6**



268.39 FEET OF 8" PVC AT 2.0%  
SANTARIY INVERT ELEVATION: 58.37'  
(DEPTH IS APPROXIMATE AND IS SUBJECT TO  
CHANGE WITH CONSTRUCTION DOCUMENTS ONCE  
FINAL ENGINEERING HAS BEEN COMPLETED)

### BENCHMARK AND DATUM

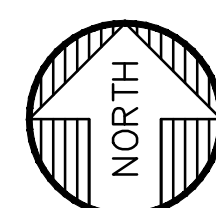
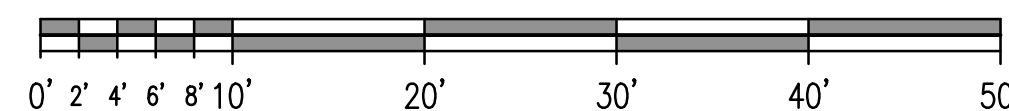
- ALL TOPOGRAPHIC INFORMATION WAS COLLECTED UTILIZING A VERTICAL DATUM OF NAVD88.
- BENCHMARK LOCATION DESCRIPTION: IN THE SOUTH PART OF SCAPPOOSE, COLUMBIA COUNTY, ABOUT 100 FEET WEST OF THE COLUMBIA RIVER HIGHWAY, AT THE EAST ENTRANCE TO THE SCAPPOOSE HIGH SCHOOL, IN THE TOP OF THE NORTH END OF THE LOWEST STEP. AN OREGON HIGHWAY DEPARTMENT STANDARD DISK STAMPED 61 X 101 1933.

### LEGEND

(E)	EXISTING
(N)	NEW
---	(E) MINOR CONTOUR
---	(E) MAJOR CONTOUR
---	(N) MINOR CONTOUR
---	(N) MAJOR CONTOUR
---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
SAN	(E) SANITARY SEWER
H2O	(E) WATER MAIN
PWR	(E) OVERHEAD WIRE
⊙	(E) SANITARY MANHOLE
⊙	(E) CATCH BASIN
SAN	(N) SANITARY SEWER MAIN
H2O	(N) WATER MAIN
⊙	(N) SANITARY CLEANOUT
⊙	(N) SANITARY MANHOLE
→	DRAINAGE FLOW ARROW
✱	LANDSCAPING TREE
○	(N) SIGN
□	(N) CONCRETE
□	(N) LANDSCAPED AREA
□	(N) PAVESTONE
□	(N) GRASS
□	(N) RIVER ROCK
□	(N) ASPHALT
○	(N) 6' CEDAR FENCE
□	(N) PUBLIC UTILITY EASEMENT

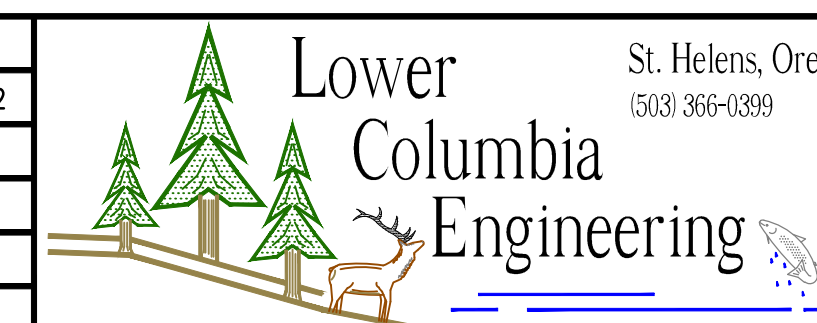
### UTILITY PLAN

SCALE: 1"=10'



DATE: 05/19/2022  
PRELIMINARY  
NOT  
FOR CONSTRUCTION

REV.	REVISION RECORD	DATE
A	COMMENTS RECEIVED FROM CITY OF SCAPPOOSE	05/19/2022



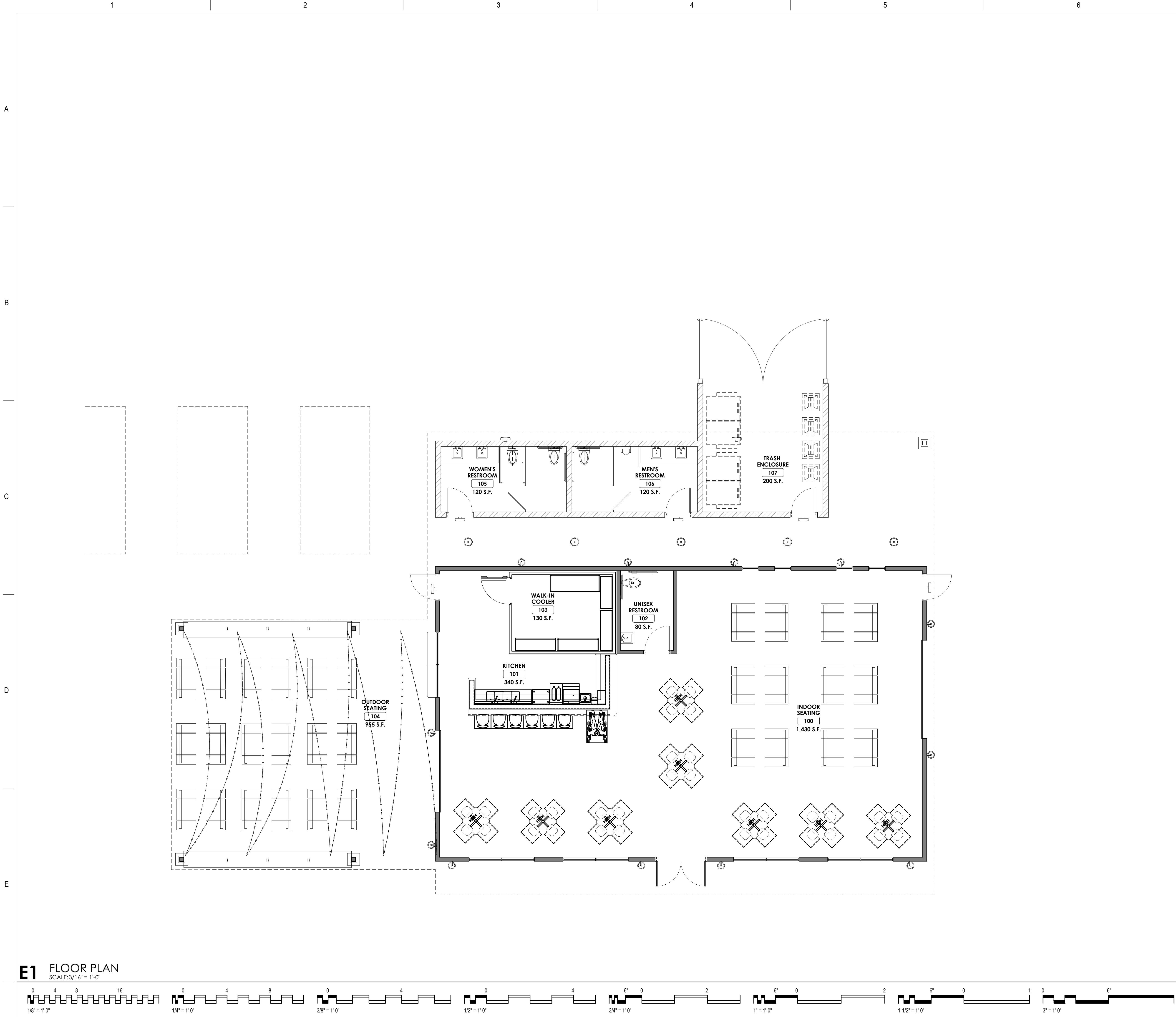
PROJ. NO.	3098	UTILITY PLAN
DWG. BY	MBJ	SCAPPOOSE FOOD CART POD
APPR. BY	CCPOD, LLC	SHEET
FILE	D-3098-C-7-A	DATE 04/07/2022

C-7

### NOTE

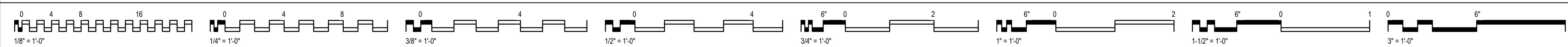
LANDSCAPING NOT SHOWN ON THIS PLAN. SEE SHEET C-5 FOR LANDSCAPING PLAN





**E1** FLOOR PLAN

SCALE: 3/16" = 1'-0"



SHEET NOTES



SCAPPOOSE FOOD CART POD

51875 COLUMBIA RIVER HWY  
SCAPPOOSE, OR 97056

CCPOD, LLC

51875 SW OLD PORTLAND RD.  
SCAPPOOSE, OR 97056

project number	21-26
date	00/00/00
revisions	

KEY NOTES

1

FLOOR PLAN

sheet number

**A200**



A

B

C

D

E



(A)



(B)

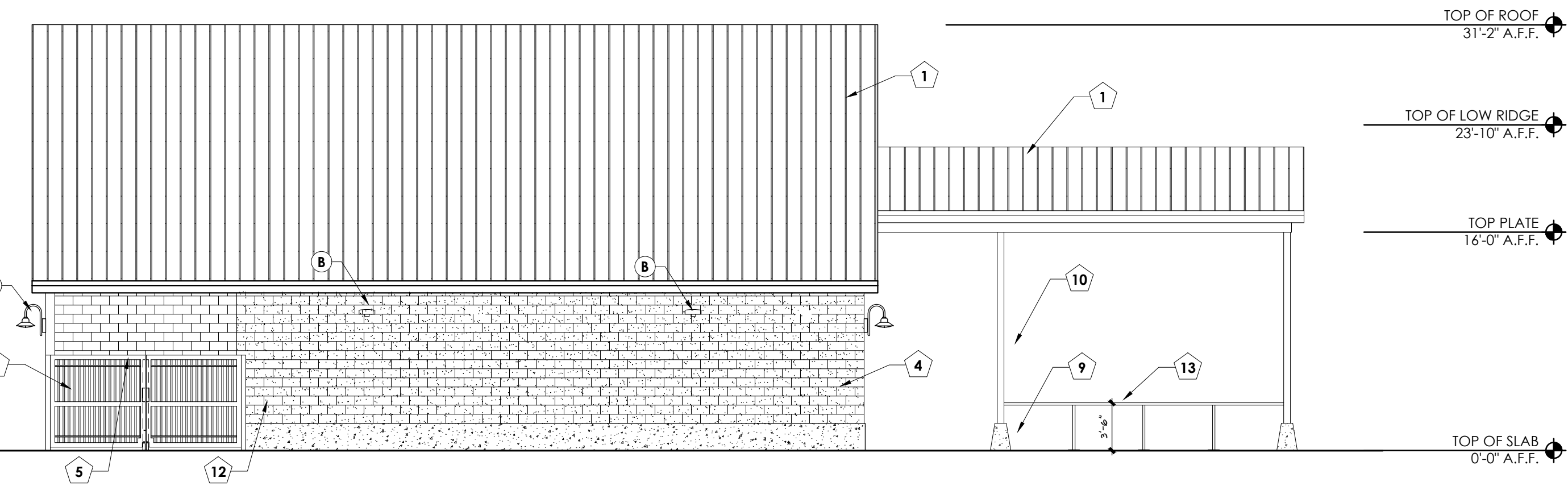


(C)

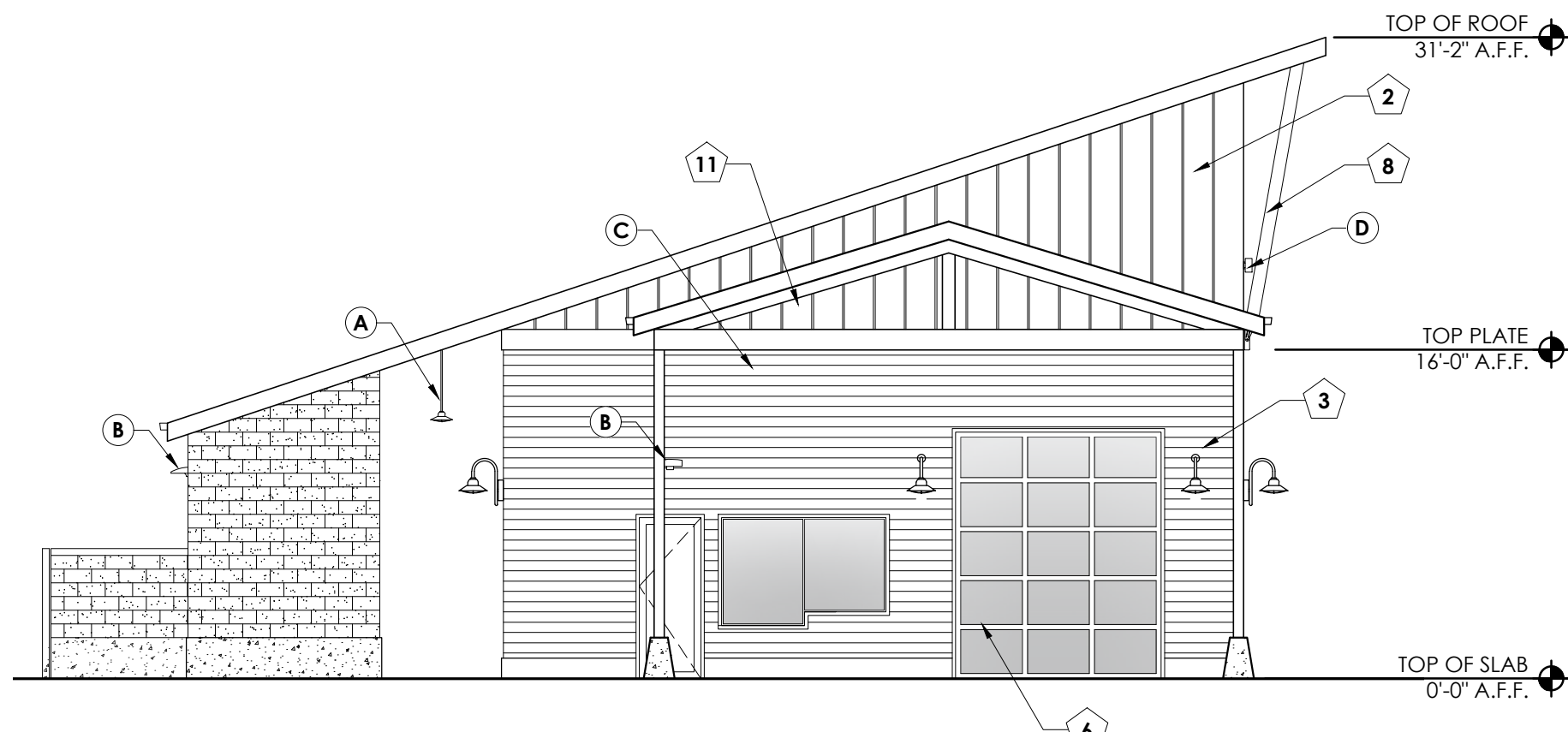


(D)

**A1** PROPOSED LED LIGHT FIXTURES (FIXTURES SHOWN ARE REPRESENTATIVE OF GENERAL STYLE ONLY; FINAL FIXTURE SELECTION MAY VARY DEPENDING ON AVAILABILITY AND COST)



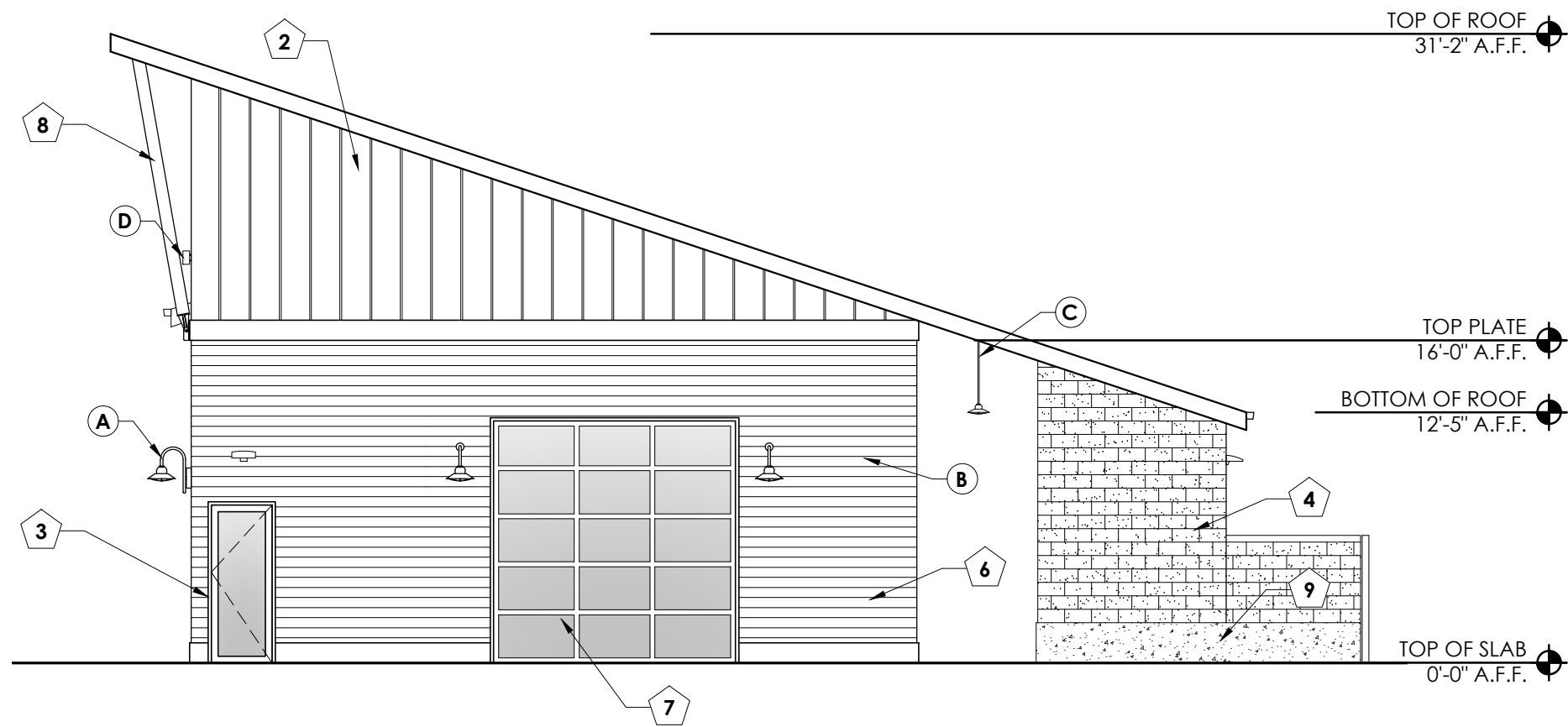
**C1** NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



**C5** WEST ELEVATION  
SCALE: 1/8" = 1'-0"



**E1** SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



**E5** EAST ELEVATION  
SCALE: 1/8" = 1'-0"



SHEET NOTES



SCAPPOOSE FOOD CART POD

51875 COLUMBIA RIVER HWY  
SCAPPOOSE, OR 97056

**CCPOD, LLC**  
51875 SW OLD PORTLAND RD.  
SCAPPOOSE, OR 97056

project number 21-26  
date 00/00/00

revisions

KEY NOTES

1

PROPOSED EXTERIOR FINISHES

- 1 STANDING SEAM METAL ROOFING
- 2 BOARD & BATTEN FIBER CEMENT SIDING
- 3 HORIZONTAL FIBER CEMENT SIDING
- 4 PAINTED CMU
- 5 VINYL CLAD WINDOWS
- 6 ALUMINUM STOREFRONT SYSTEM
- 7 GLASS OVERHEAD DOORS
- 8 PAINTED WOOD BRACES
- 9 EXPOSED CONCRETE BASE
- 10 PAINTED WOOD COLUMNS
- 11 PAINTED EXPOSED WOOD TRUSSES
- 12 TRASH ENCLOSURE STEEL GATE AND SCREEN
- 13 DRINK RAIL

PRELIMINARY  
ELEVATIONS

sheet number

**A300**







**To:** Scappoose Urban Renewal Agency  
**From:** Scappoose Economic Development Committee  
**Date:** February 6, 2023  
**Subject:** Council Goal Recommendation

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Dear Scappoose Urban Renewal Agency,

The Scappoose Economic Development Committee (EDC) has proposed to the Scappoose City Council the following goal (among others) be adopted for Fiscal Year 23-24: "Work with the Urban Renewal Agency to request that the Economic Development Committee be the first to review grant proposals." The EDC proposes this to increase stakeholder involvement in the awarding process of Urban Renewal grants. The EDC believes that their members' collective business experience and involvement in the local Scappoose economy would be a valuable perspective for the Urban Renewal Agency (URA) to have available to them when making final decisions on grant applications.

Now therefore, the Scappoose Economic Development Committee recommends amending the process for receiving, reviewing, and approving Urban Renewal grant requests. The following steps convey the proposed process, as recommended by the EDC:

- 1) City Staff receives the Urban Renewal grant applications to document them and ensure they comply with the applicable regulations.
- 2) Once reviewed by Staff and deemed complete, the Urban Renewal grant application will be included in the EDC packet to be reviewed at the upcoming meeting. Copies of these applications shall also be sent to the URA at this time. If the grant application cannot be included in the upcoming meeting packet, it will be reviewed at the next available meeting.
- 3) The EDC will review and discuss the grant application with an emphasis on the application's potential contribution to economic development, enhancement of the Scappoose economy, and beautification of the city. The grant applicant will be given the opportunity to present an overview of their application and its benefits to the EDC.
- 4) The EDC will vote to recommend approval, modified approval, or denial of the grant application to the Urban Renewal Agency. The motion will include a brief justification of the EDC's decision.
- 5) The Urban Renewal Agency will receive the grant application and the EDC's associated recommendation and review it at their next meeting. The URA will be the final decision-making body.

A member of the Scappoose Economic Development Committee shall not participate in any proceedings or action in which any of the following has a direct or substantial financial interest: The member or the spouse, brother, sister, child, parent, father-in-law, mother-in-law of the member, any business in which the member is then serving or has served within the previous two years, or any business with which the member is negotiating for or has an arrangement or understanding concerning prospective partnership or employment. Any actual or potential interest shall be disclosed at the meeting of the Economic



Development Committee where the recommendation is being considered. Members must also declare on record any ex parte contact they have with regards to the application, whether the communication was invited or uninvited. When doing so, members must also state whether or not it will impact their ability to impartially participate in the proceedings.

The EDC looks forward to discussing this new process with you.

Respectfully submitted,

Christine Turner, Scappoose Economic Development Committee Chair  
Brian Rosenthal, Scappoose Economic Development Committee Vice Chair