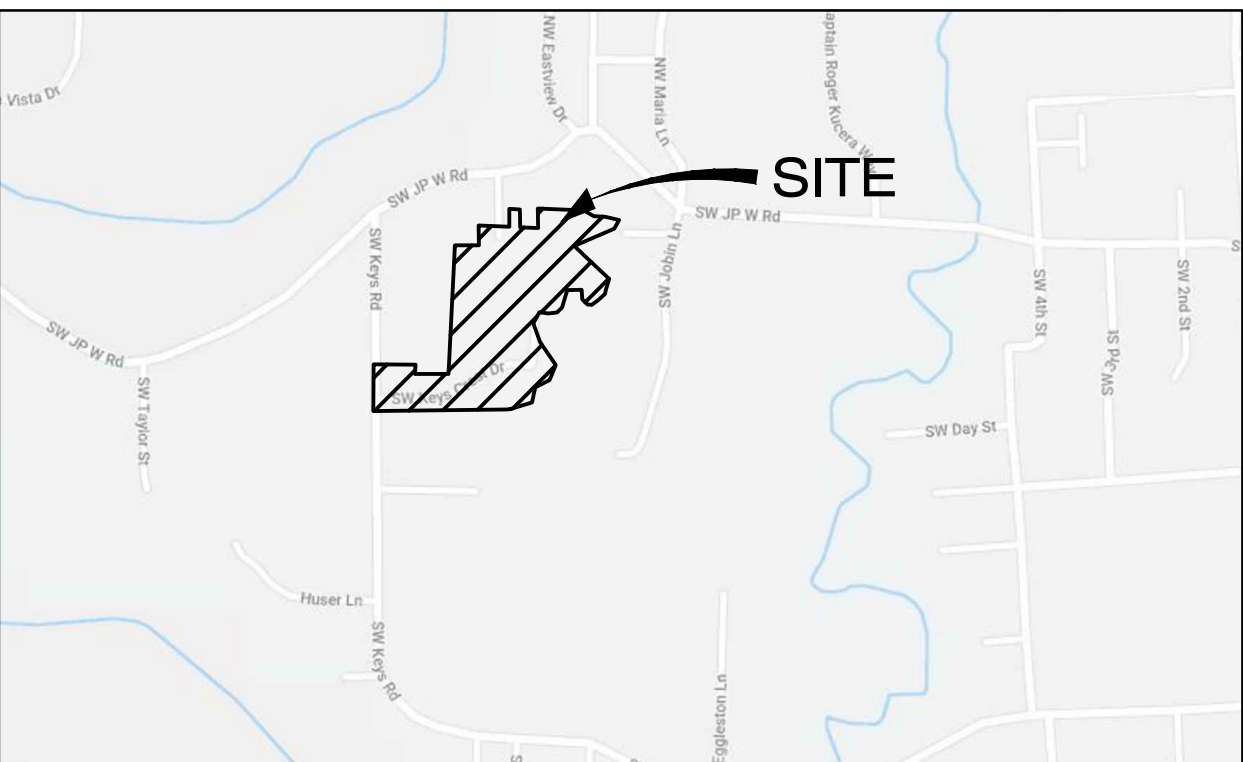
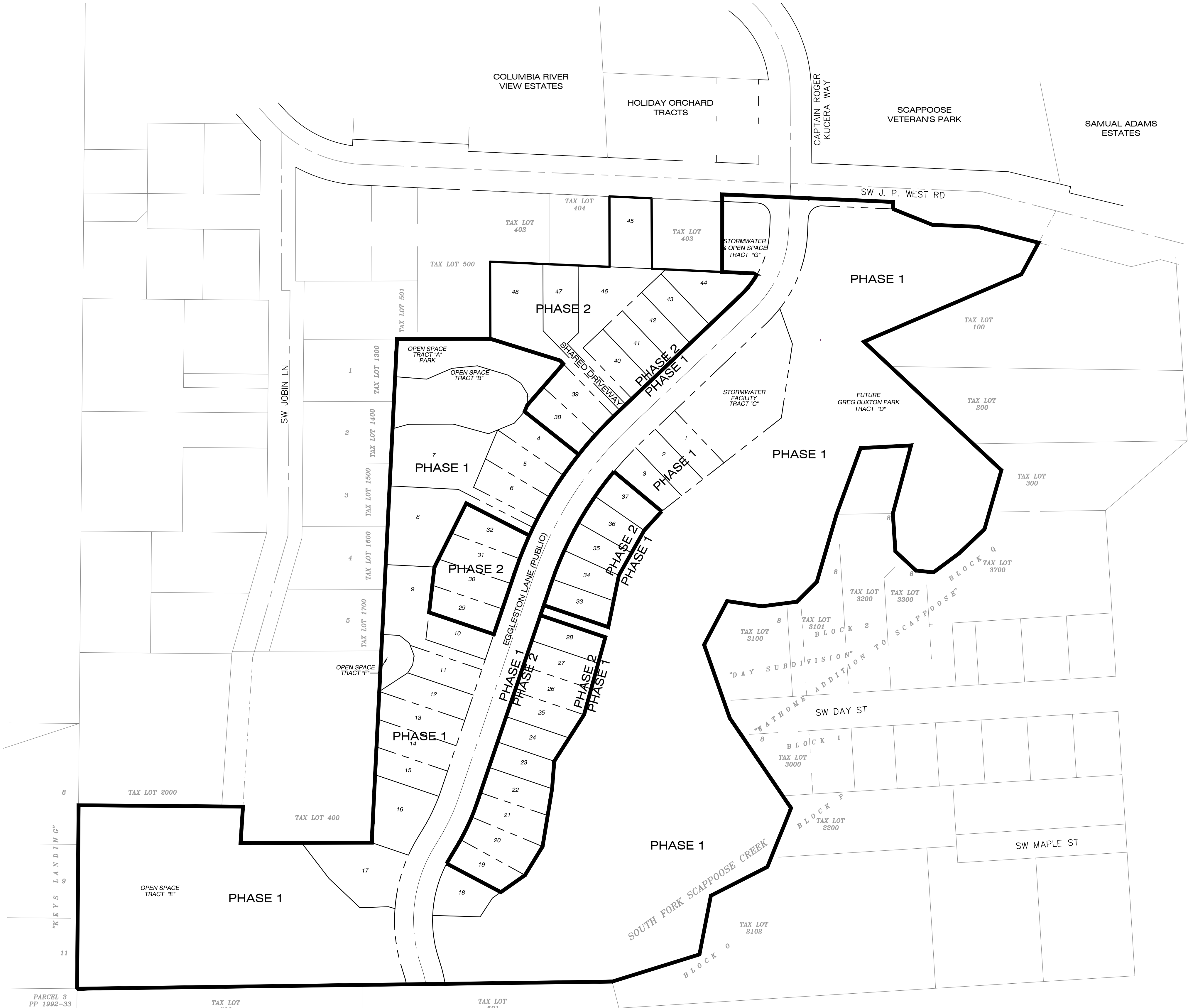


BUXTON RANCH

A 48 LOT PLANNED DEVELOPMENT ON TAX LOT 401, TAX MAP T3N R2W 12CB



VICINITY MAP

N.T.S.

OWNER

BUXTON FAMILY INVESTMENTS, LLC
PO BOX 503069
WHITE CITY, OR 97503
EMAIL: CHIIP.BUXTON@GMAIL.COM
CONTACT: CHIP BUXTON

APPLICANT

DAVID WEEKLEY HOMES
1930 THOREAU DR., SUITE 160
SCHAUMBURG, IL 60173
PHONE: (224) 415-6619
CONTACT: AZIZ SIDDIQUI

PLANNING/ENGINEERING/SURVEY

PIONEER DESIGN GROUP, INC.
9020 SW WASHINGTON SQ RD., SUITE 170
PORTLAND, OR 97223
PHONE: (503) 643-8286
CONTACT: MATT SPRAGUE

SITE INFORMATION

TAX MAP: T3N R2W 12CB
TAX LOT: 401
SITE LOCATION: INTERSECTION OF CAPTAIN ROGER KUCERA WAY AND SW JP WEST RD
SITE SIZE: 17.31 ACRES
ZONING: R1, LOW DENSITY RESIDENTIAL

VERTICAL DATUM

LOCAL DATUM WAS ESTABLISHED BY USE OF A BRASS DISK IN CONCRETE SCHOOL-HOUSE STEP APPROXIMATELY 1680 FEET SOUTHEASTERLY OF THE SUBJECT PROPERTY, OREGON STATE HIGHWAY DEPT. BENCHMARK NO. X 101, (1933).
ELEVATION: 64.80' NAVD 88

UTILITY COMPANIES

WATER, SEWER, & STORM - CITY OF SCAPPOOSE
GAS - NORTHWEST NATURAL GAS
ELECTRIC - COLUMBIA RIVER PUD
TELEPHONE - CENTURYLINK
CABLE TV - COMCAST

SHEET INDEX

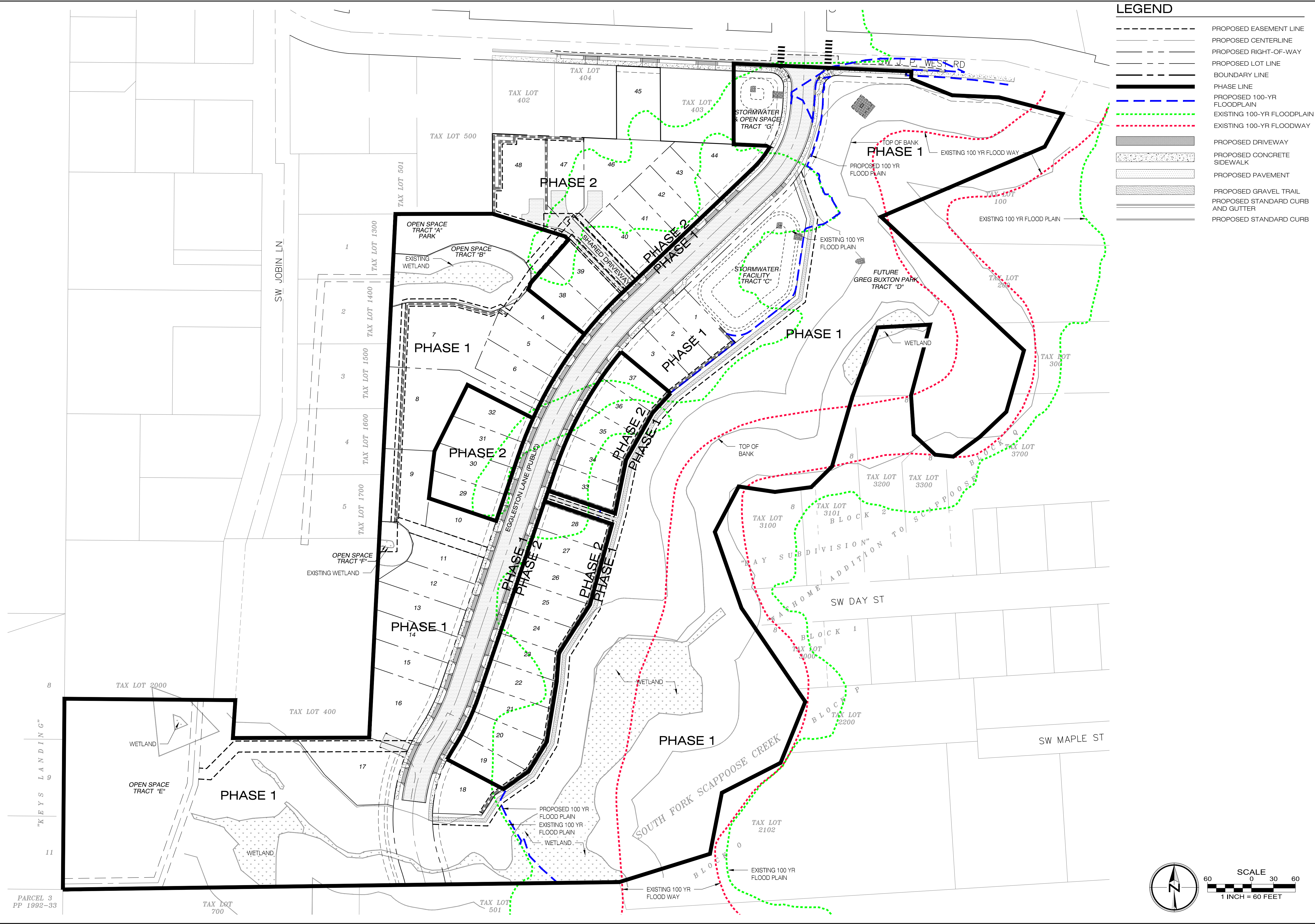
SHEET #	SHEET DESCRIPTION
1	COVER SHEET
1.1	PHASING PLAN
2	PRELIMINARY PLAT
2.1	CROSS SECTIONS
3	EXISTING CONDITION AND DEMOLITION PLAN
4	PRELIMINARY GRADING AND EROSION CONTROL PLAN
5	PRELIMINARY STREET PLAN
5.1	TYPICAL SECTIONS, HOSE PULL DETAIL, & EASEMENT DETAIL
6	PRELIMINARY STREET AND STORM PLAN AND PROFILE - EGGLESTON
7	PRELIMINARY STREET AND STORM PLAN AND PROFILE - WEST
8	STORMWATER FACILITIES, SDLN-01, SDLN-03 PLAN & PROFILE
9	PRELIMINARY SANITARY AND WATERLINE PLAN AND PROFILE
10	PRELIMINARY SANITARY PLAN AND PROFILE
11	PRELIMINARY WATERLINE PLAN AND PROFILE
12	CIRCULATION PLAN
L1-L2	LANDSCAPE PLANTING PLANS, LEGENDS & NOTES

COVER SHEET

Designed by	WLS	Date	5/2022
Drawn by	BDH	Date	5/2022
Reviewed by	WLS	Date	5/2022
Project No.	359-004	REF.	
Horiz. Scale:	359-004	Vert. Scale:	359004_01.covr.dwg

By	Revision	Date	No.	Project
				BUXTON RANCH
				No. 359-004
				Type PLANNING
				Sheet

B:\Projects\359-004\Planning\359004_01_1phase.dwg 8/9/2022 9:58:11 AM



- LEGEND**
- PROPOSED EASEMENT LINE
 - PROPOSED CENTERLINE
 - PROPOSED RIGHT-OF-WAY
 - PROPOSED LOT LINE
 - BOUNDARY LINE
 - PHASE LINE
 - PROPOSED 100-YR FLOODPLAIN
 - EXISTING 100-YR FLOODPLAIN
 - EXISTING 100-YR FLOODWAY
 - PROPOSED DRIVEWAY
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED PAVEMENT
 - PROPOSED GRAVEL TRAIL
 - PROPOSED STANDARD CURB AND GUTTER
 - PROPOSED STANDARD CURB

PIONEER DESIGN GROUP
CIVIL ENGINEERING • LAND USE PLANNING • LAND SURVEYING • LANDSCAPE ARCHITECTURE
PORTLAND, OREGON | HONOLULU, HAWAII
PH: 503.643.8286 | WWW.PD-GRP.COM

PHASING PLAN

Buxton Ranch
Scappoose, Oregon

Designed by	Date	Reviewed by	Date	Project No.	Horiz. Scale:	Vert. Scale:
MLS	5/2022	BDH	5/2022	359-004		
Drawn by		Reviewed by				

Project: BUXTON RANCH
No.: 359-004
Type: PLANNING
Sheet: 1.1

B:\Projects\359-004\Planning\359004_02plat.dwg 8/8/2022 9:02:14 AM

ABBREVIATIONS

AC	ASPHALT CONCRETE	PC	POINT OF CURVATURE
ACP	ASBESTOS CEMENT PIPE	PCC	POINT OF COMPOUND CURVATURE
AB	AGGREGATE BASE	PI	POINT OF INTERSECTION
BCR	BEGIN CURB RETURN	R	PROPERTY LINE
BM	BENCH MARK	PRC	POINT OF REVERSE CURVATURE
BVC	BEGIN VERTICAL CURVE	PT	POINT OF TANGENCY
CIP	CAST IRON PIPE	PVC	POLY-VINYL CHLORIDE
CJ	CONTROL JOINT	R	RADIUS
CL	CLASS	RCP	REINFORCED CONCRETE PIPE
C	CENTERLINE	R/W	RIGHT-OF-WAY
CMP	CORRUGATED METAL PIPE	S	SEWER
CMU	CONCRETE MASONARY UNIT	SD	SEWER DRAIN
CO	CLEANOUT	SL	SEWER LATERAL
CTV	CABLE TELEVISION	STA	STATION
DI	DROP INLET	STD. DTL.	STANDARD DETAIL
DIP	DUCTILE IRON PIPE	T	TELEPHONE
E	ELECTRICAL	TB	THRUST BLOCK
ECR	END CURB RETURN	TC	TOP OF CURB
EJ	EXPANSION JOINT	TON	TOP OF CONCRETE
EL	ELEVATION	TD	TOP OF DIKE
EVC	END VERTICAL CURVE	TF	TOP OF FOOTING
EX	EXISTING	TG	TOP OF GRATE
FF	FINISH FLOOR	TI	TRAFFIC INDEX
FG	FINISH GRADE	TL	TRAFFIC LIGHT
FH	FIRE HYDRANT	TP	TOP OF PAVEMENT
FL	FLOWLINE	TYP.	TYPICAL
FLG	FLANGE	TW	TOP OF WALL
G	GAS	VCP	VITRIFIED CLAY PIPE
GM	GAS METER	VPI	VERTICAL POINT OF INTERSECTION
GB	GRADE BREAK	W	WATER
GSP	GALVANIZED STEEL PIPE	WM	WATER METER
HP	HIGH POINT	WV	WATER VALVE
L	CURVE LENGTH	Δ	DELTA (CURVE CENTRAL ANGLE)
LF	LINEAL FEET	±	APPROXIMATELY
MH	MANHOLE	%	PERCENT
MJ	MECHANICAL JOINT	<	LESS THAN
N.I.C.	NOT INCLUDED IN CONTRACT	>	GREATER THAN
OCEW	ON CENTER EACH WAY		

LEGEND

---	PROPOSED EASEMENT LINE
---	PROPOSED CENTERLINE
---	PROPOSED RIGHT-OF-WAY
---	PROPOSED LOT LINE
---	BOUNDARY LINE
---	PROPOSED 100-YR FLOODPLAIN
---	EXISTING 100-YR FLOODPLAIN
---	EXISTING 100-YR FLOODWAY
---	PROPOSED DRIVEWAY
---	PROPOSED CONCRETE SIDEWALK
---	PROPOSED PAVEMENT
---	PROPOSED GRAVEL TRAIL
---	PROPOSED STANDARD CURB AND GUTTER
---	PROPOSED STANDARD CURB

EASEMENT NOTES

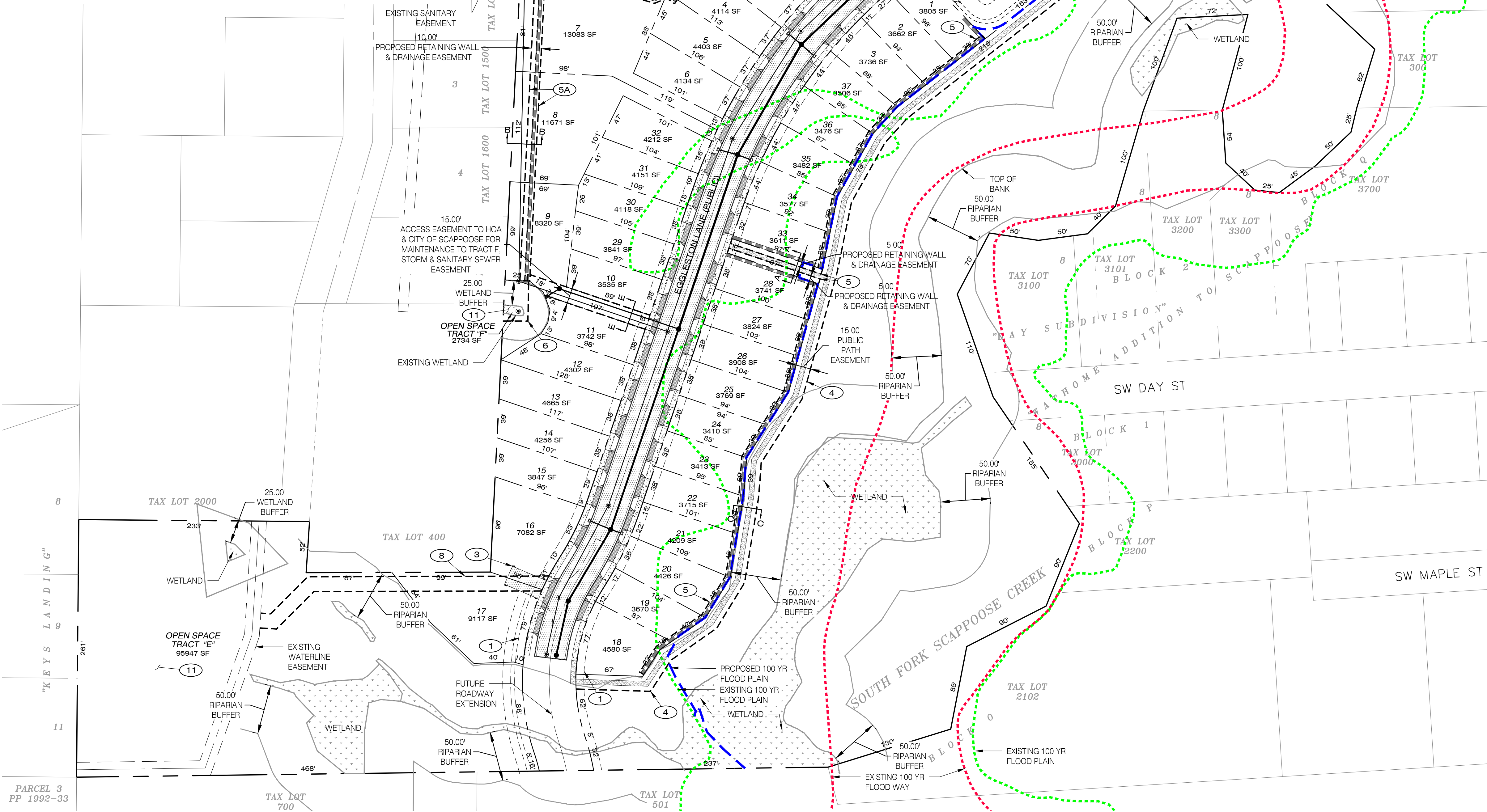
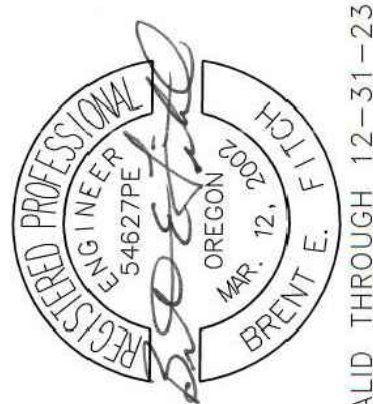
- 8.00' WIDE PUE.
- 20.0' WIDE STORM & SANITARY SEWER EASEMENT.
- TEMPORARY ACCESS EASEMENT FOR EMERGENCY VEHICLE TURNAROUND OVER LOTS 16 AND 17. INSTALL NO PARKING SIGNS.
- 15' WIDE PUBLIC PATH EASEMENT.
- 5' RETAINING WALL & STORM DRAINAGE EASEMENT MEASURED 5' FROM BACK SIDE OF RETAINING WALL. SEE DETAIL BELOW.
- 10' RETAINING WALL & STORM DRAINAGE EASEMENT MEASURED 5' FROM BACK SIDE OF RETAINING WALL ON BOTH SIDES. SEE DETAIL BELOW.
- NEW SANITARY SEWER EASEMENT TO BE PLATTED BEHIND RETAINING WALL ON THE REAR OF LOTS 7, 8, AND 9.
- TRACT B TO HAVE A BLANKET SANITARY & STORM SEWER EASEMENT ACROSS ITS ENTIRETY.
- 15' WIDE WATERLINE EASEMENT.
- ACCESS EASEMENT BENEFITING LOTS 46, 47, AND 48.
- ACCESS EASEMENT TO TRACT A AND B FOR HOA & CITY OF SCAPOOSE FOR UTILITY MAINTENANCE.
- TRACTS B, D, E, AND F TO HAVE A BLANKET CONSERVATION EASEMENT ACROSS ITS ENTIRETY WITH LIMITS FOR USE DETERMINED BY THE CITY OF SCAPOOSE. ALL PUBLIC TRAILS, PATHWAYS, & ACCESS WAYS FOR PUBLIC PEDESTRIAN/BRIDGE USE WILL BE OUTRIGHTLY PERMITTED WITHIN CONSERVATION EASEMENTS.

NOTE: CROSS SECTIONS ARE DISPLAYED ON PLAN SHEET 2.1.

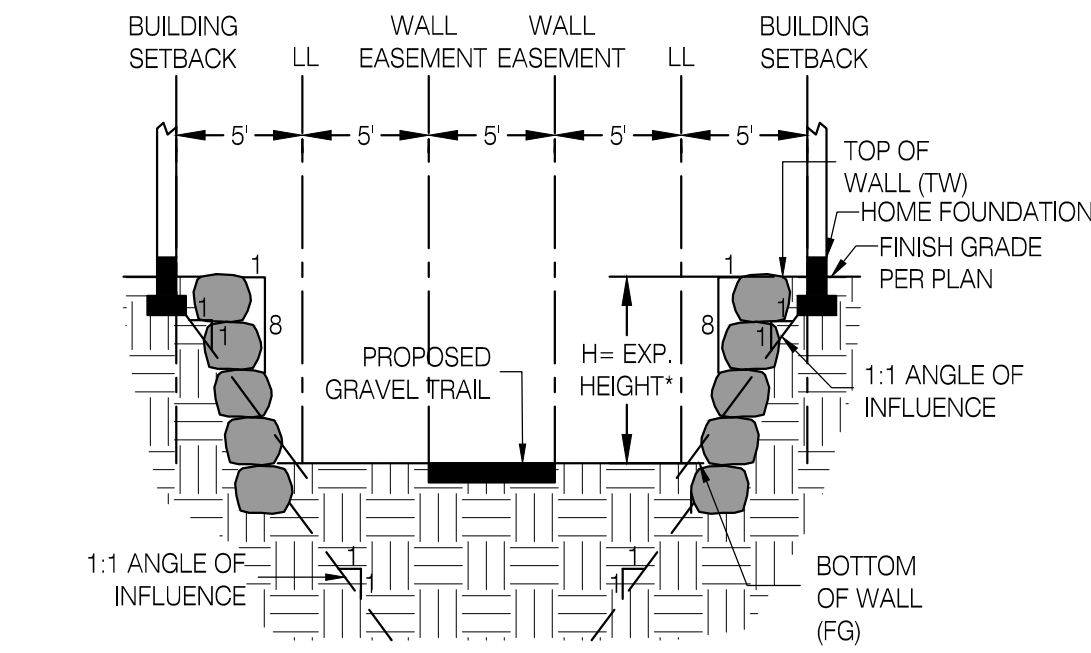
PRELIMINARY PLAT

Designed by	MLS	Date	5/2022
Drawn by	BDH	Date	5/2022
Reviewed by	MLS	Date	5/2022
Project No.	359-004	REF.	
Horiz. Scale:			
Vert. Scale:	359004_02plat.dwg		

By	
Revision	
No.	
Date	
Project	BUXTON RANCH
No.	359-004
Type	PLANNING
Sheet	

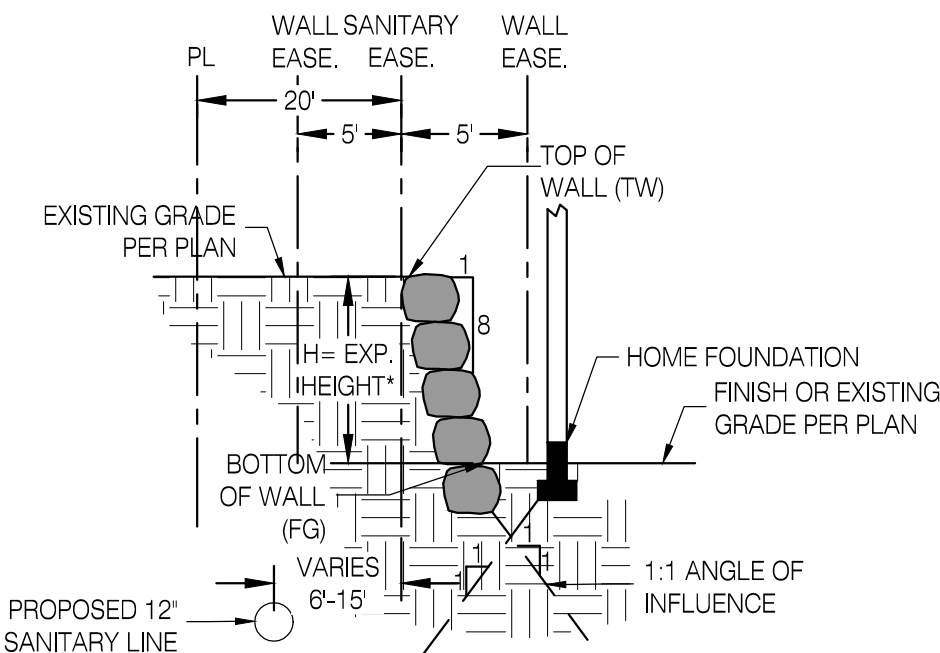


B:\Projects\359-004\Planning\359004_02plat.dwg 8/8/2022 9:02:21 AM



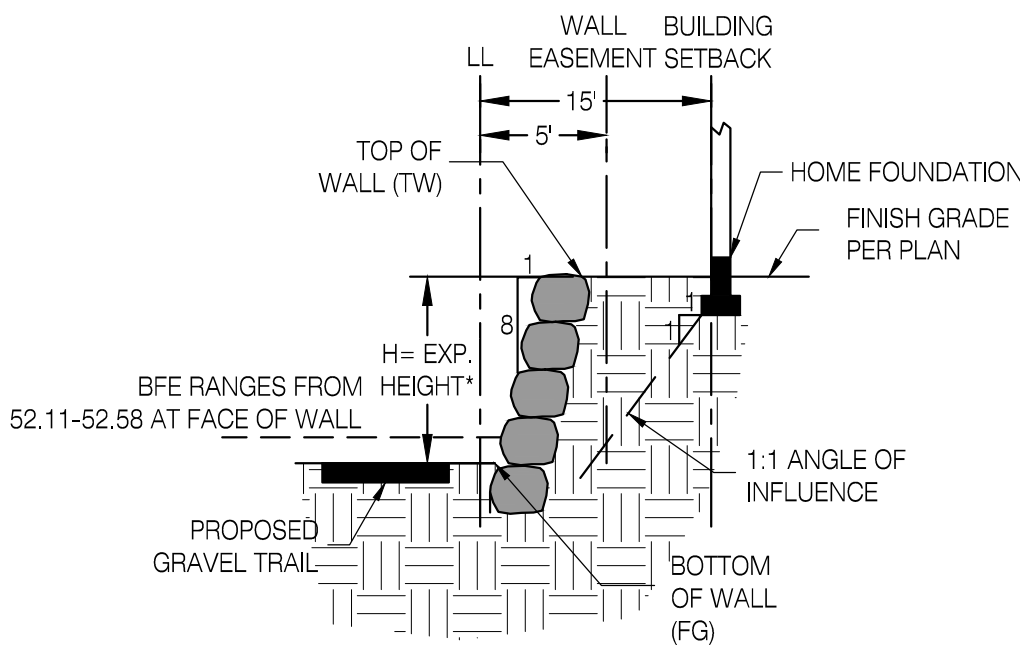
*NOTE: WHEN H IS > THAN OR = TO 4' THEN THE BUILDING FOOTING NEEDS TO BE DEEPEDED.
RETAINING FILL WALL
EASEMENT SECTION A-A DETAIL
NTS

SEE EASEMENT CROSS SECTION ON PLAN SHEET 2.



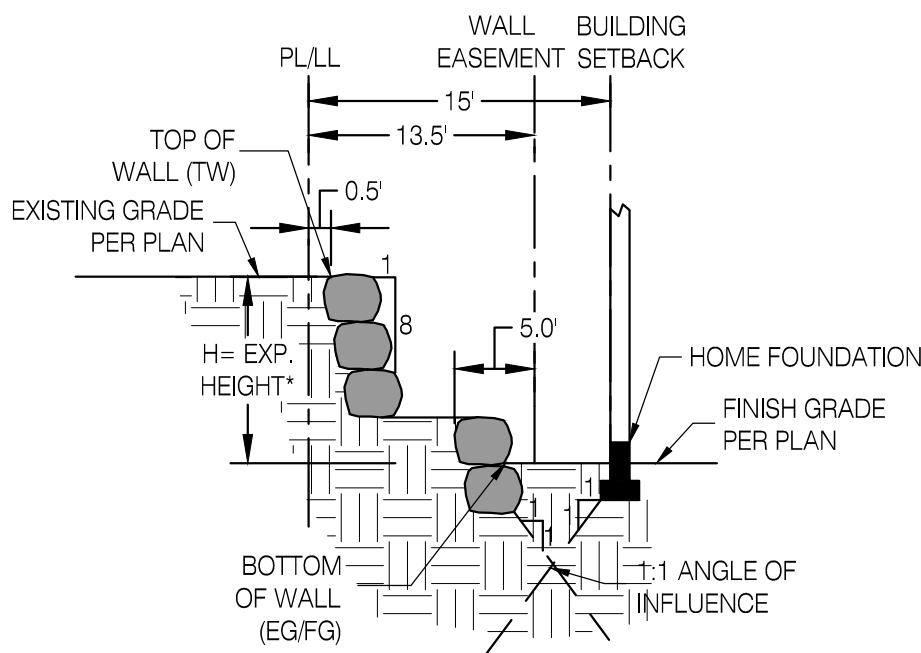
*NOTE: WHEN H IS > THAN OR = TO 4' THEN THE BUILDING FOOTING NEEDS TO BE DEEPEDED.
RETAINING CUT WALL
EASEMENT SECTION B-B DETAIL
NTS

SEE EASEMENT CROSS SECTION ON PLAN SHEET 2.



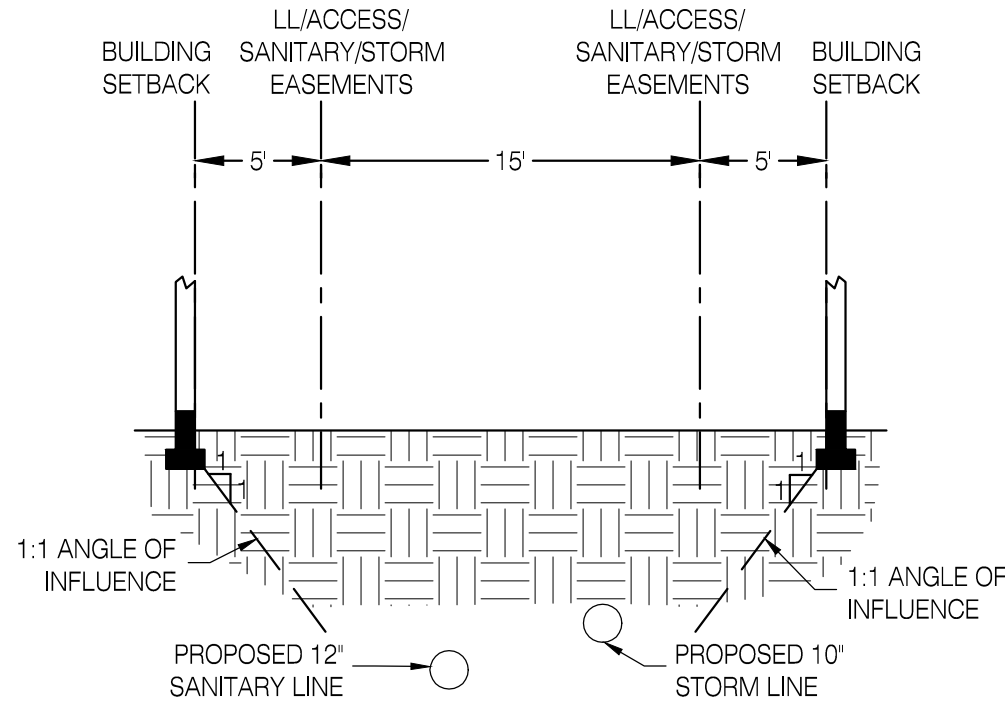
*NOTE: WHEN H IS > THAN OR = TO 4' THEN THE BUILDING FOOTING NEEDS TO BE DEEPEDED.
RETAINING FILL WALL
EASEMENT SECTION C-C DETAIL
NTS

SEE EASEMENT CROSS SECTION ON PLAN SHEET 2.



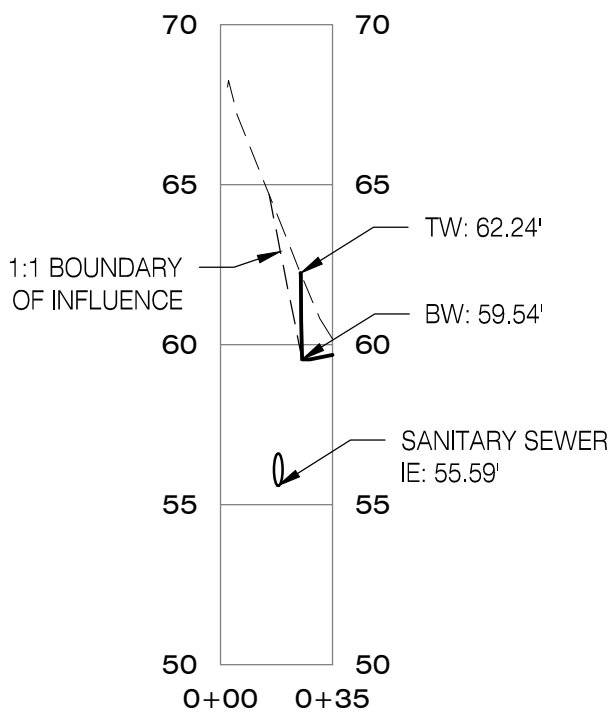
*NOTE: WHEN H IS > THAN OR = TO 4' THEN THE BUILDING FOOTING NEEDS TO BE DEEPEDED.
RETAINING CUT WALL
EASEMENT SECTION D-D DETAIL
NTS

SEE EASEMENT CROSS SECTION ON PLAN SHEET 2.



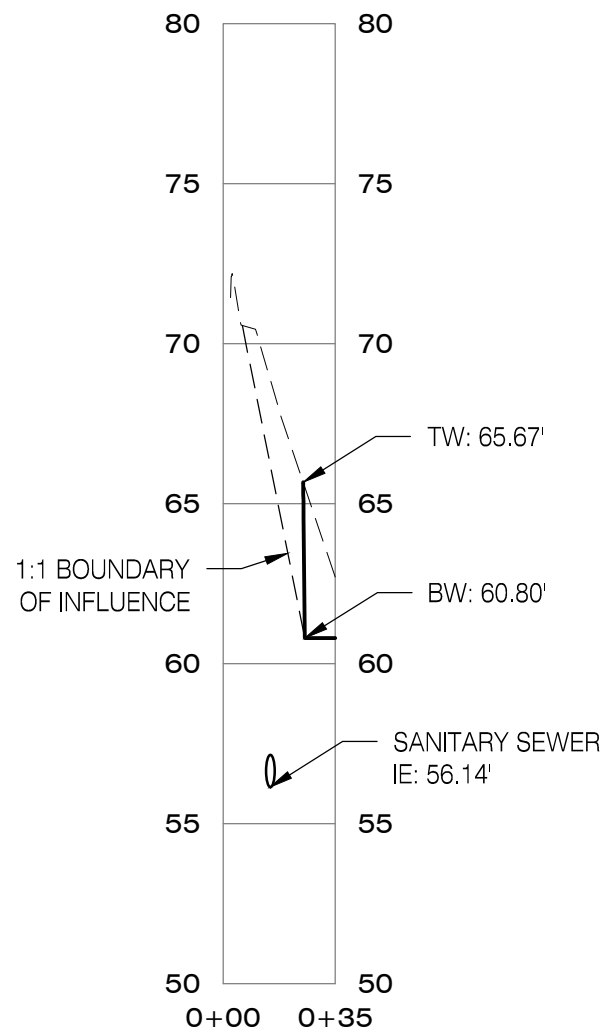
STORM & SANITARY SEWER
EASEMENT SECTION E-E DETAIL
NTS

SEE EASEMENT CROSS SECTION ON PLAN SHEET 2.



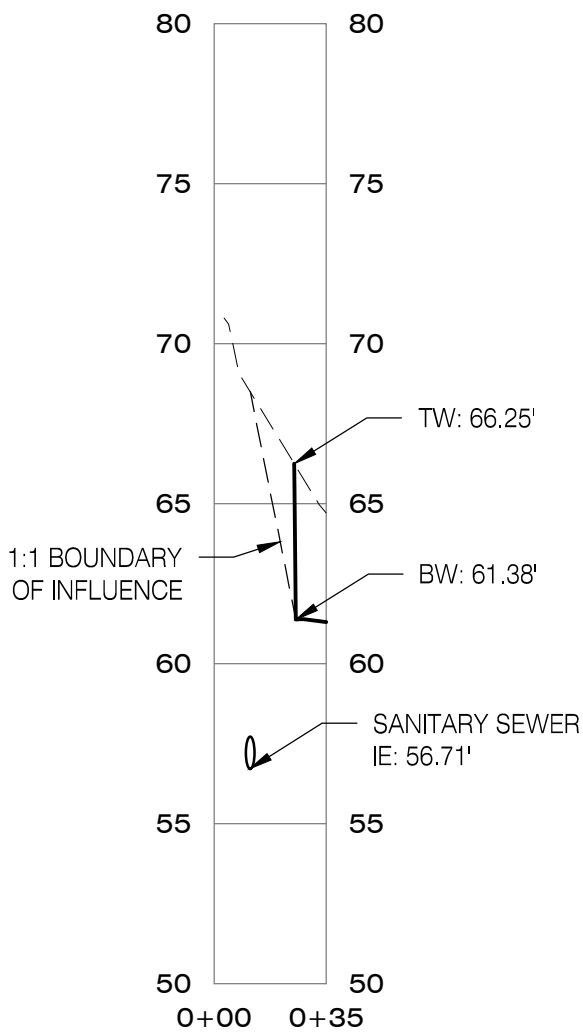
WALL GRADING
SECTION F-F DETAIL
NTS

SEE WALL GRADING CROSS SECTION ON PLAN SHEET 4.



WALL GRADING
SECTION G-G DETAIL
NTS

SEE WALL GRADING CROSS SECTION ON PLAN SHEET 4.



WALL GRADING
SECTION H-H DETAIL
NTS

SEE WALL GRADING CROSS SECTION ON PLAN SHEET 4.

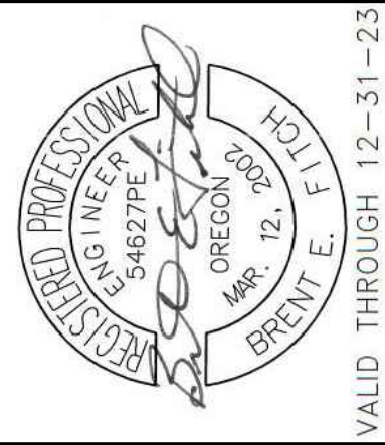
CROSS SECTIONS

Designed by	Date	Drawn by	Date	Reviewed by	Date	Project No.	Horiz. Scale:	Vert. Scale:
MLS	5/2022	BDH	5/2022	MLS	5/2022	359-004		359004_02plat.dwg

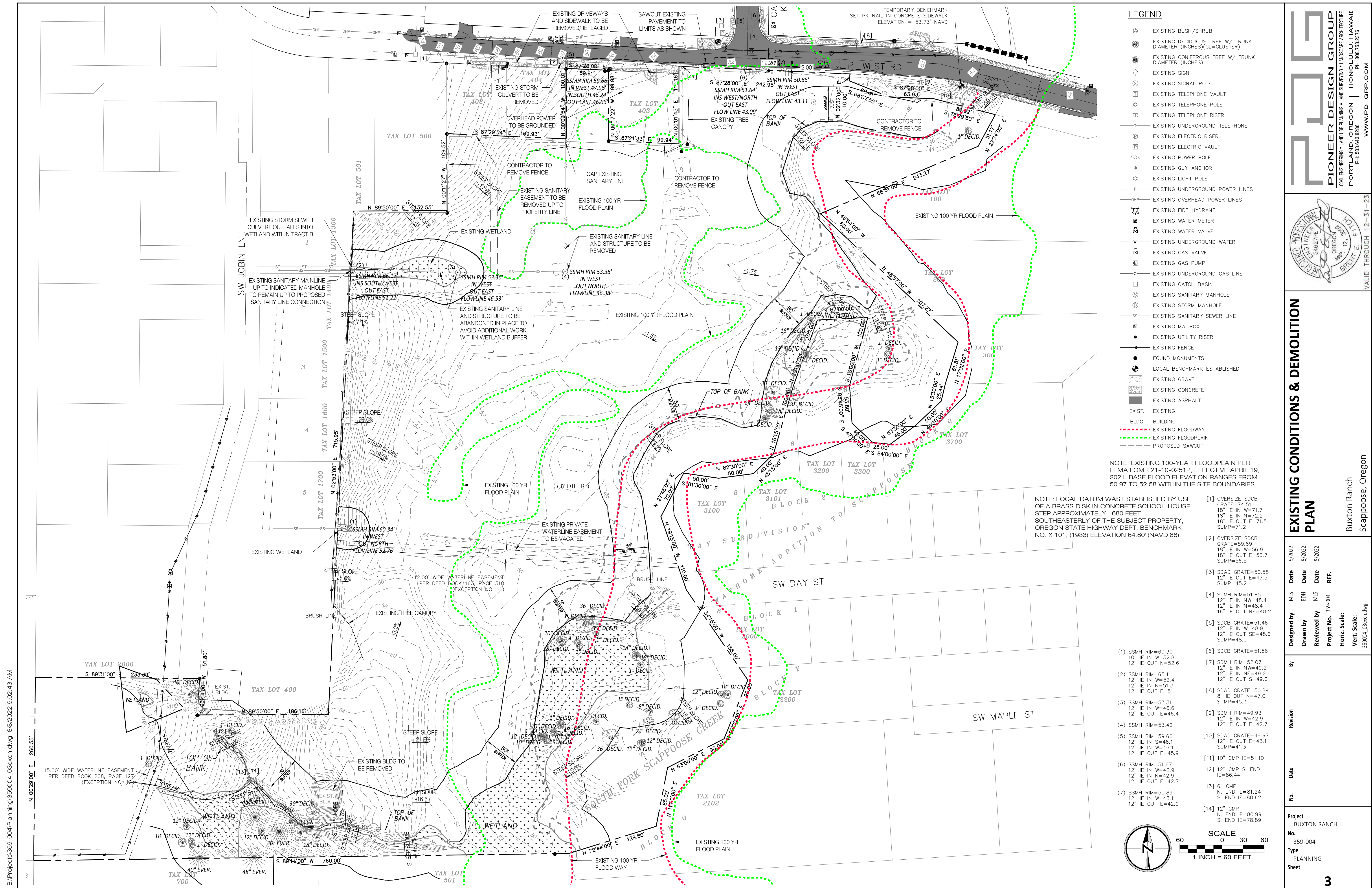
By	Revision	Date	No.

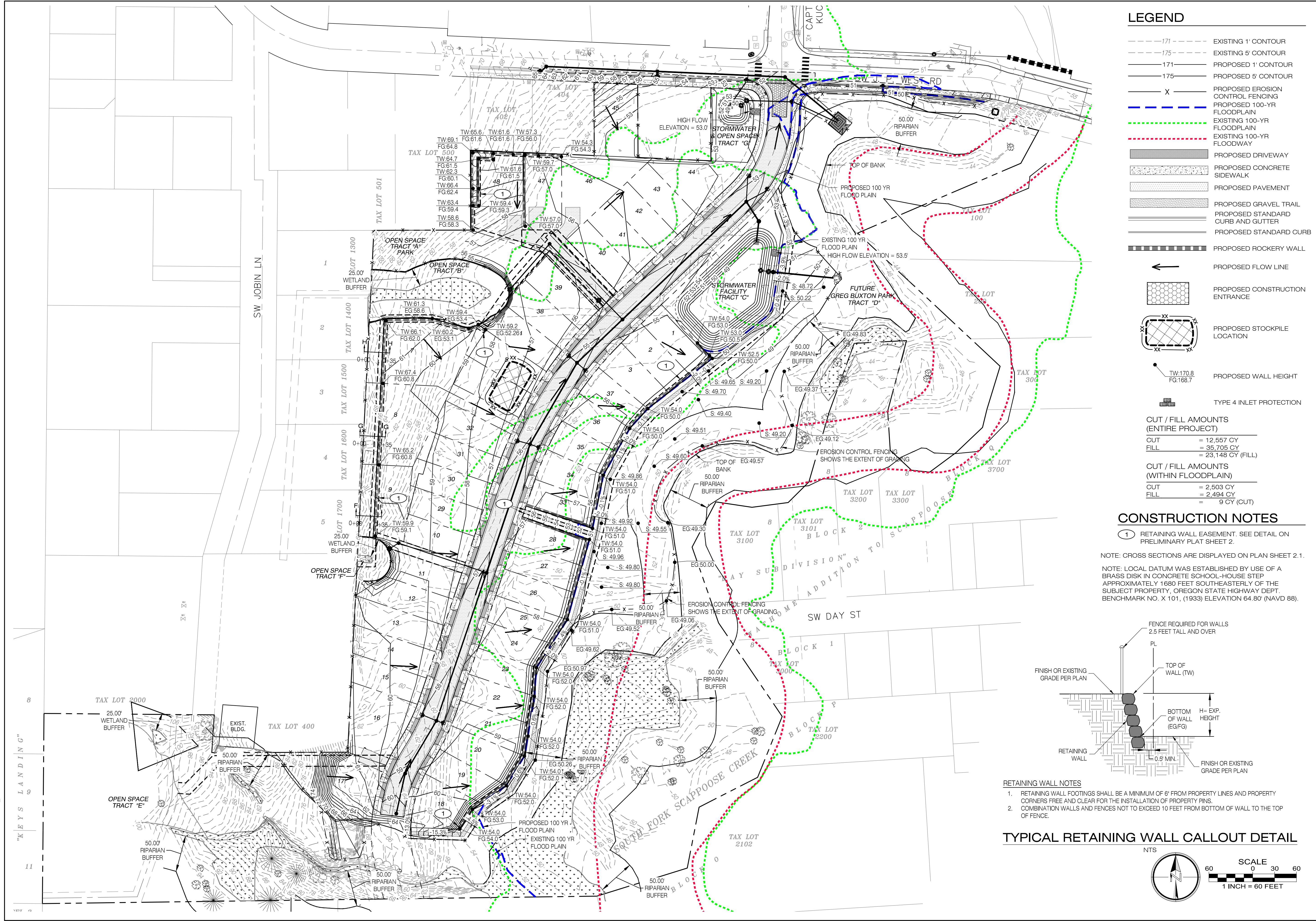
Project	BUXTON RANCH
No.	359-004
Type	PLANNING
Sheet	

PIONEER DESIGN GROUP
CIVIL ENGINEERING • LAND USE PLANNING • LAND SURVEYING • LANDSCAPE ARCHITECTURE
PORTLAND, OREGON | HONOLULU, HAWAII
PH: 503.643.8286 | WWW.PD-GRP.COM



Buxton Ranch
Scappoose, Oregon





PIONEER DESIGN GROUP
CIVIL ENGINEERING • LAND USE PLANNING • LAND SURVEYING • LANDSCAPE ARCHITECTURE
PORTLAND, OREGON | HONOLULU, HAWAII
PH: 808.753.2376
WWW.PD-GRP.COM

PRELIMINARY GRADING & EROSION CONTROL PLAN

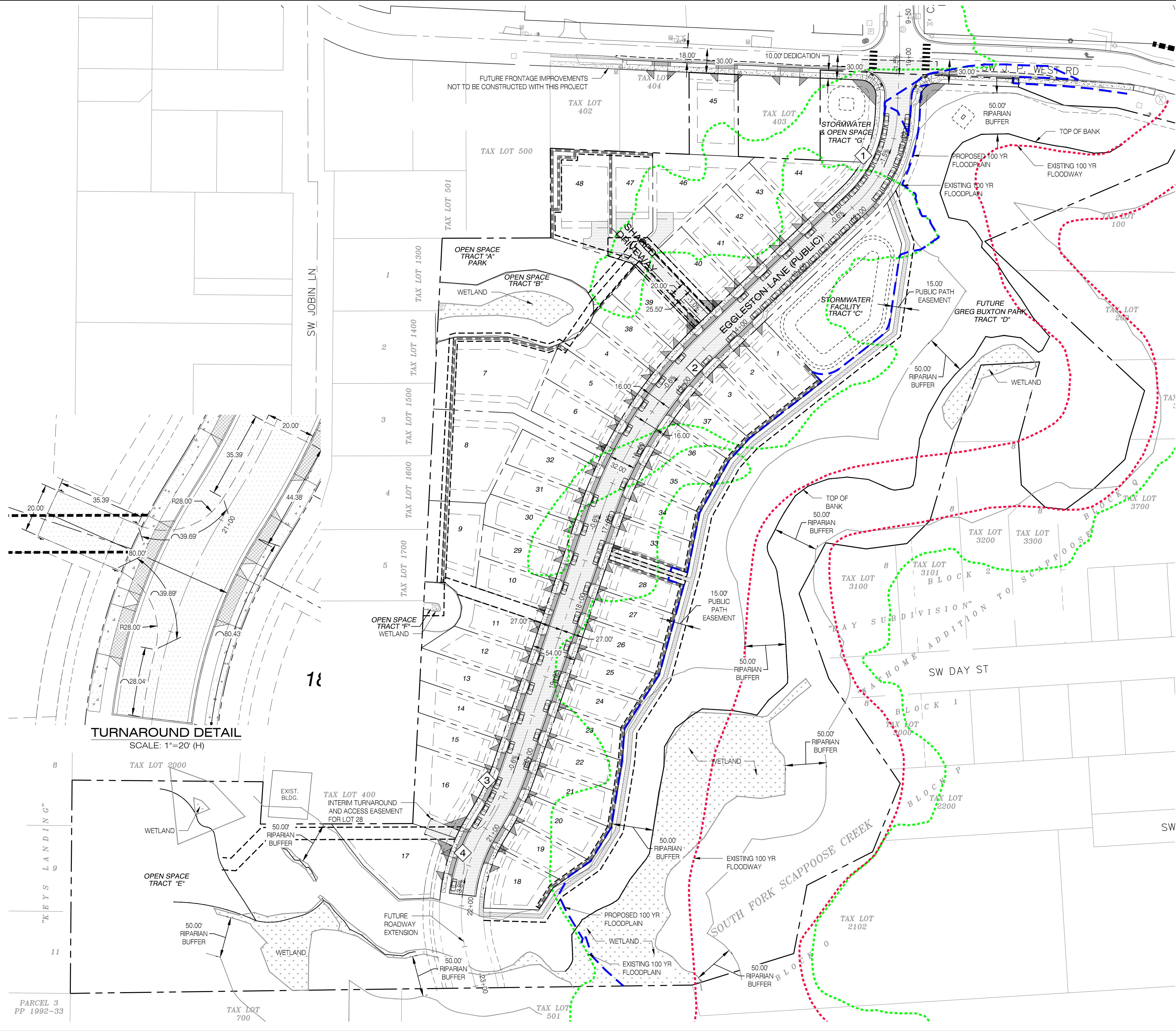
Buxton Ranch
Scappoose, Oregon

Designed by	WLS	Date	5/2022
Drawn by	BDL	Date	5/2022
Reviewed by	WLS	Date	5/2022
Project No.	359-004	REF.	
Horiz. Scale:	1" = 60'		
Vert. Scale:	1" = 60'		

Project
BUXTON RANCH
No.
359-004
Type
PLANNING
Sheet

4

B:\Projects\359-004\Planning\359004_05site.dwg 8/9/2022 9:39:20 AM



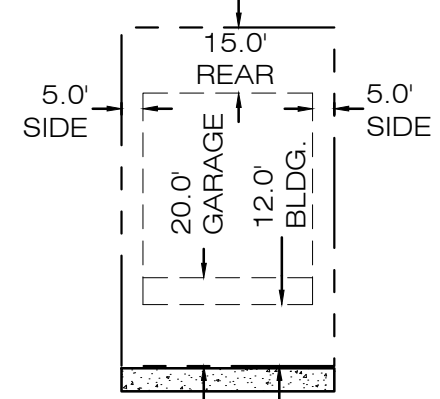
LEGEND

- PROPOSED EASEMENT LINE
- PROPOSED CENTERLINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- BOUNDARY LINE
- PROPOSED 100-YR FLOODPLAIN
- EXISTING 100-YR FLOODPLAIN
- EXISTING 100-YR FLOODWAY
- PROPOSED DRIVEWAY
- PROPOSED CONCRETE SIDEWALK
- PROPOSED PAVEMENT
- PROPOSED GRAVEL TRAIL
- PROPOSED STANDARD CURB AND GUTTER
- PROPOSED STANDARD CURB
- VISUAL CLEARANCE TRIANGLE

PROPOSED INTERNAL SETBACKS

(SEE SETBACK DETAIL BELOW)

- FRONT BUILDING: 12 FT.
- FRONT GARAGE: 20 FT.
- SIDE YARD: 5 FT.
- STREET SIDE YARD: 8 FT.
- REAR BUILDING: 15 FT.



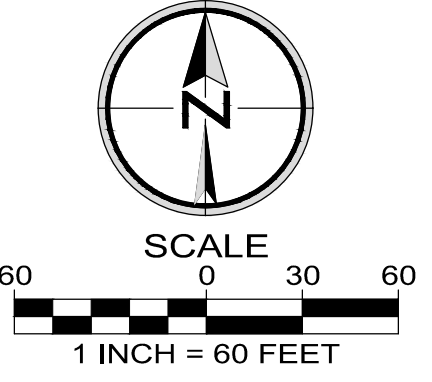
SETBACKS

NTS

NOTE: ALL PERIMETER SETBACKS SHALL COMPLY WITH THE R-1 BASE ZONE STANDARDS.

CENTERLINE CURVE DATA

1 $\Delta = 43^{\circ}53'50''$ $R = 160.00'$ $T = 64.48'$ $L = 122.58'$	2 $\Delta = 27^{\circ}44'28''$ $R = 525.00'$ $T = 129.64'$ $L = 254.19'$
3 $\Delta = 13^{\circ}08'56''$ $R = 300.00'$ $T = 34.58'$ $L = 68.85'$	4 $\Delta = 49^{\circ}56'00''$ $R = 200.00'$ $T = 93.12'$ $L = 174.30'$



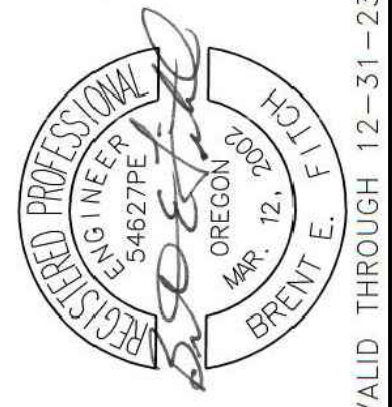
PRELIMINARY STREET PLAN

Designed by	WLS	Date	5/2022
Drawn by	BDH	Date	5/2022
Reviewed by	WLS	Date	5/2022
Project No.	359-004	REF.	
Horiz. Scale:		Vert. Scale:	359004_05site.dwg

By	
Revision	
No.	
Date	

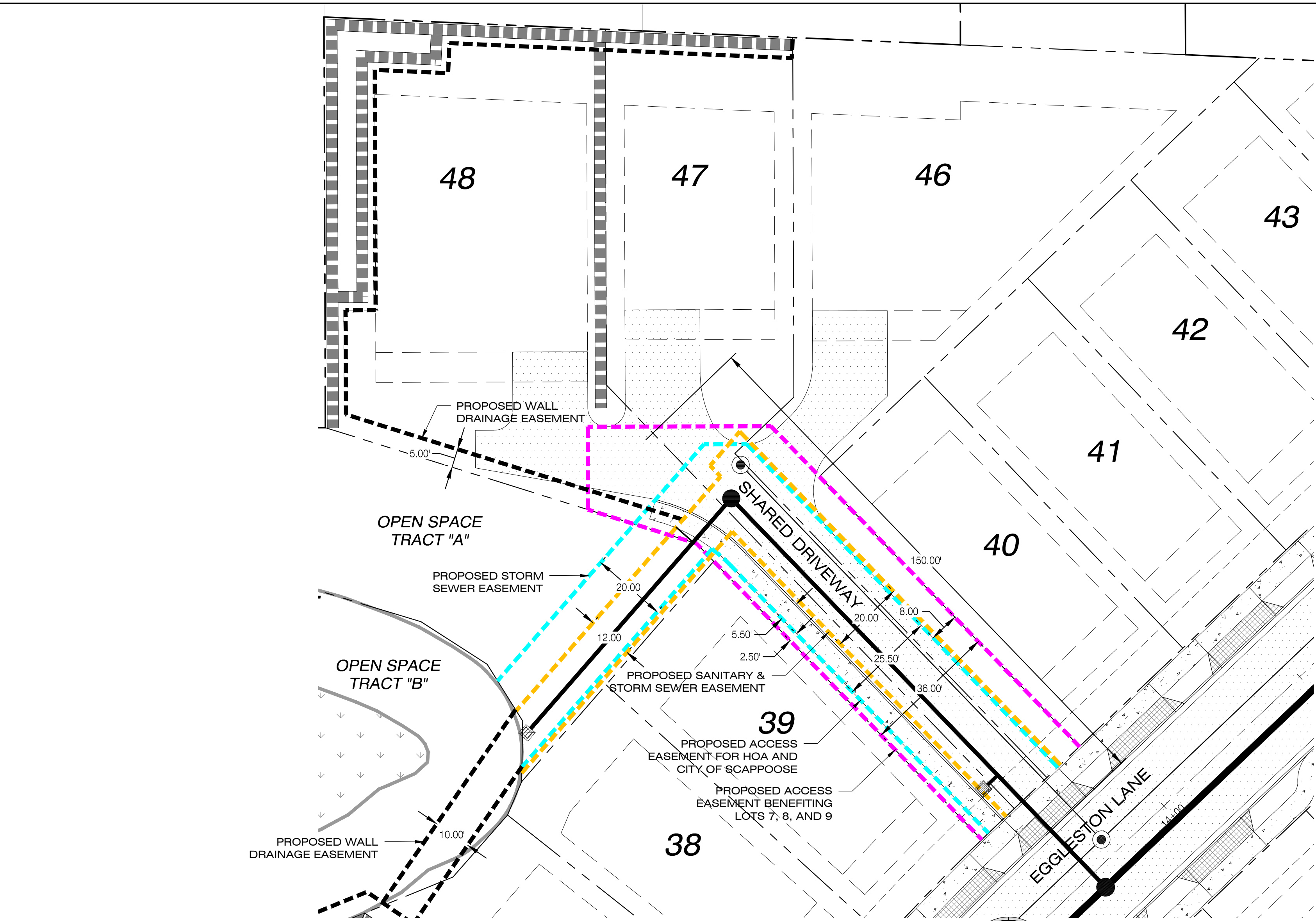
Project
BUXTON RANCH
No.
359-004
Type
PLANNING
Sheet

PIONEER DESIGN GROUP
CIVIL ENGINEERING • LAND USE PLANNING • LAND SURVEYING • LANDSCAPE ARCHITECTURE
PORTLAND, OREGON | HONOLULU, HAWAII
PH: 503.643.8286 | WWW.PD-GRP.COM

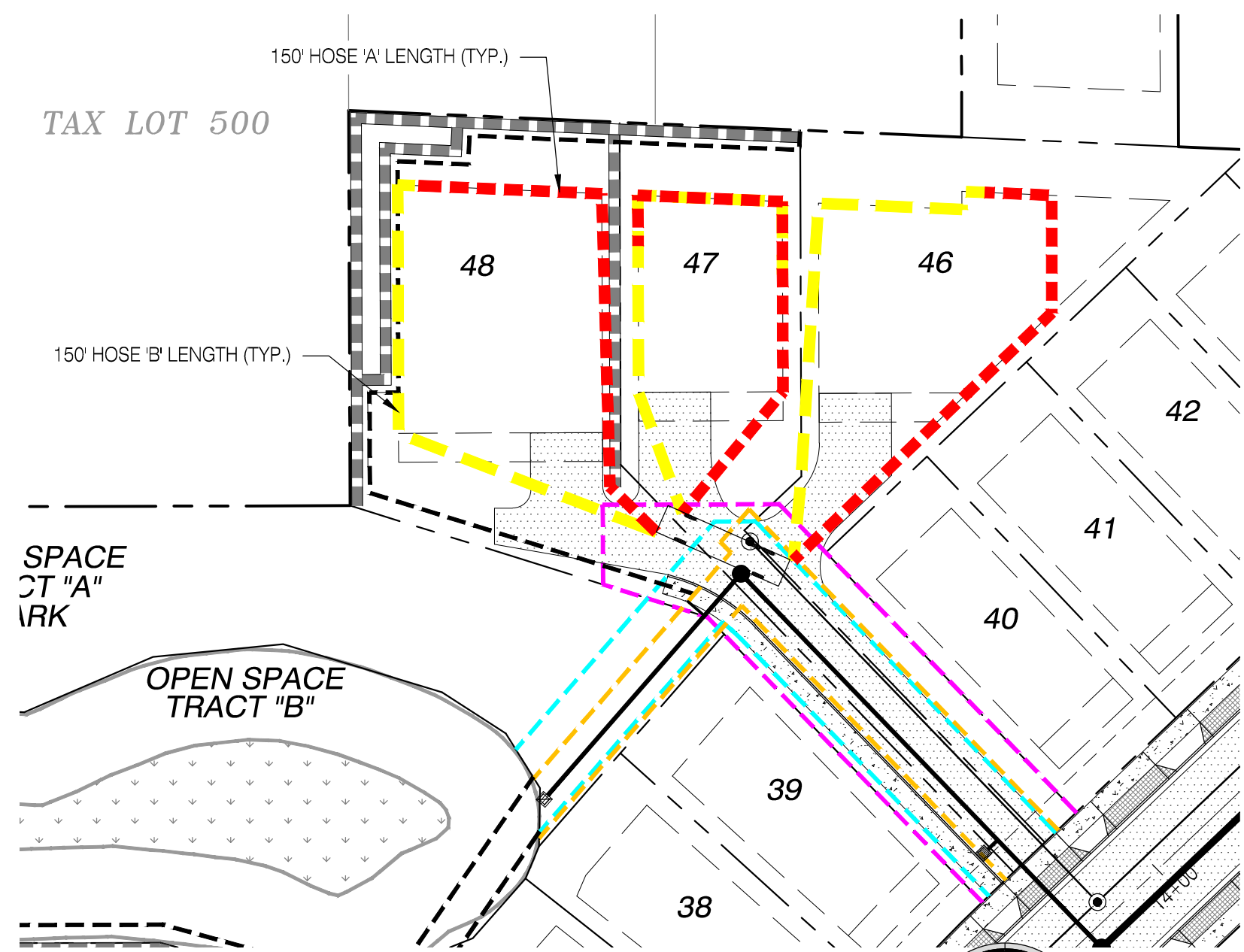


Buxton Ranch
Scappoose, Oregon

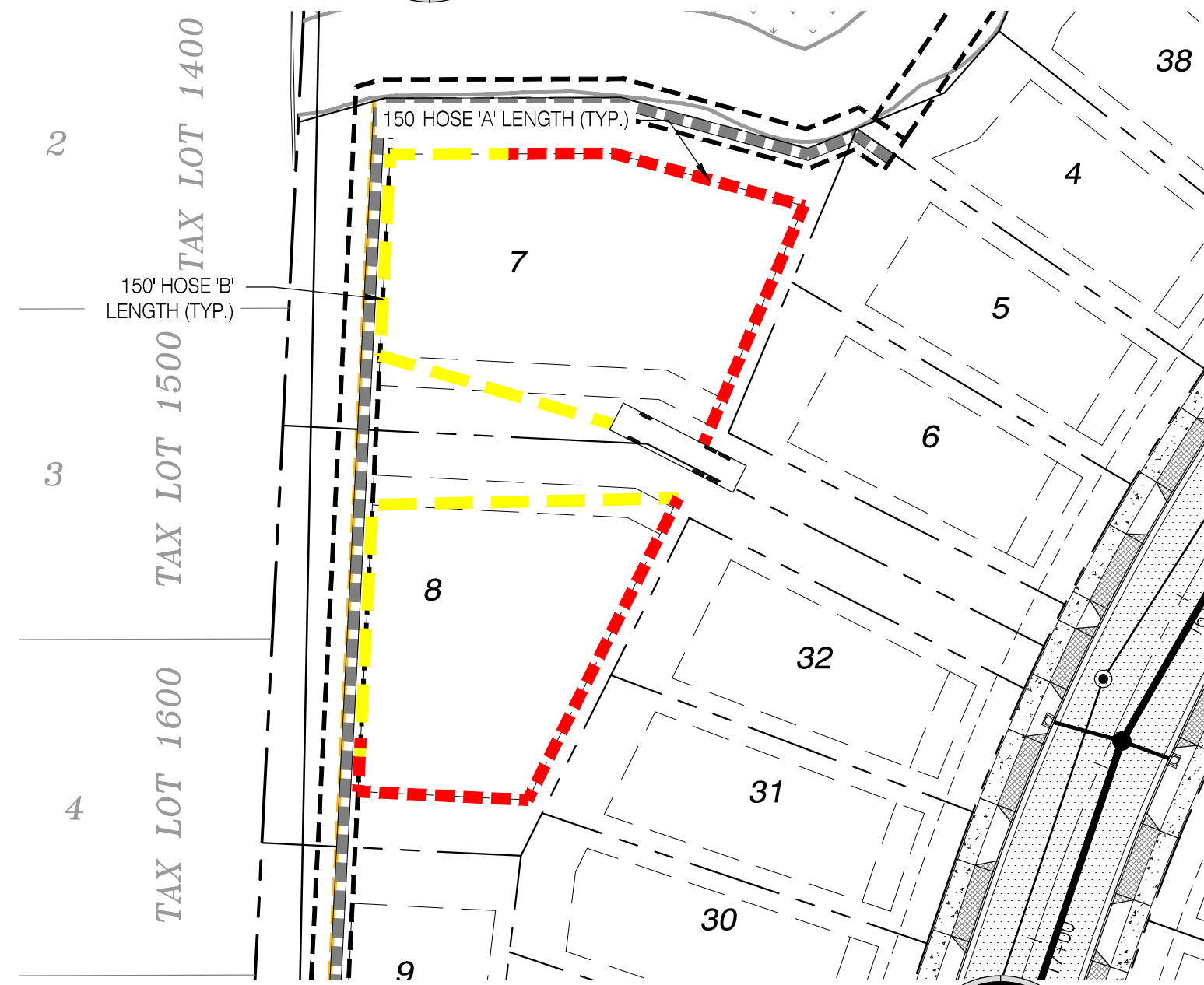
B:\Projects\359-004\Planning\359004_05site.dwg 8/8/2022 9:03:26 AM



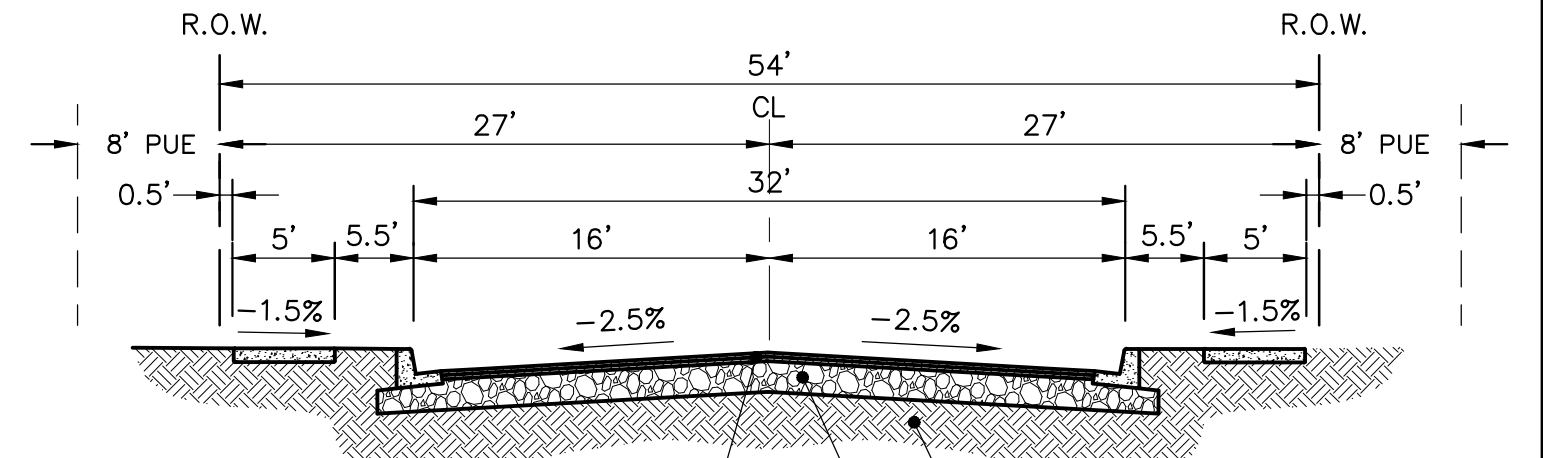
PROPOSED EASEMENTS DETAIL
SCALE: 1"=20' (H)



HOSE PULL DETAIL -
FLAG LOTS 46, 47, & 48
SCALE: 1"=40' (H)

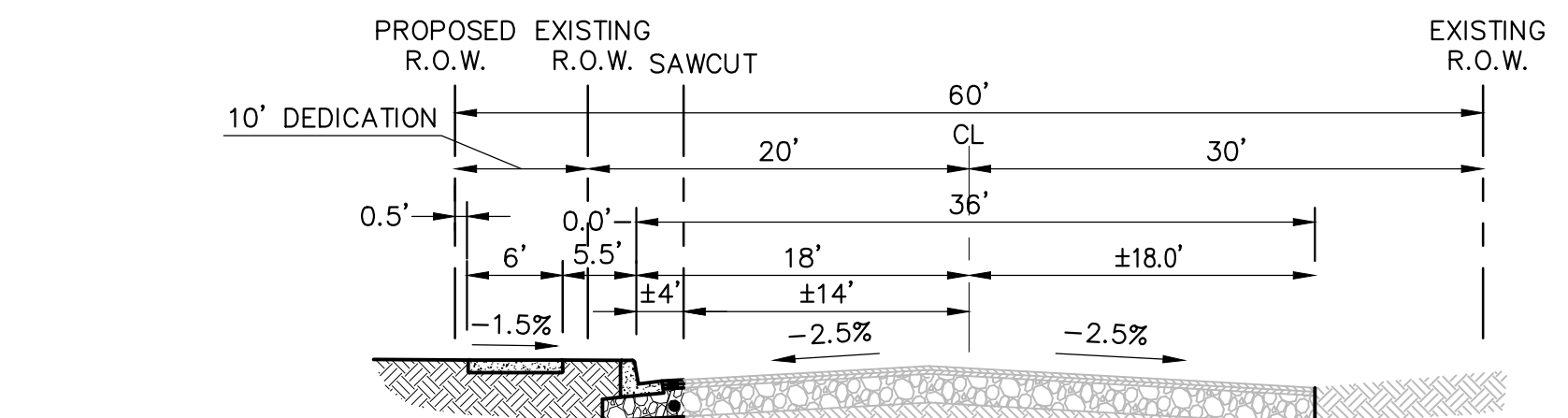


HOSE PULL DETAIL -
FLAG LOTS 7 & 8
SCALE: 1"=40' (H)



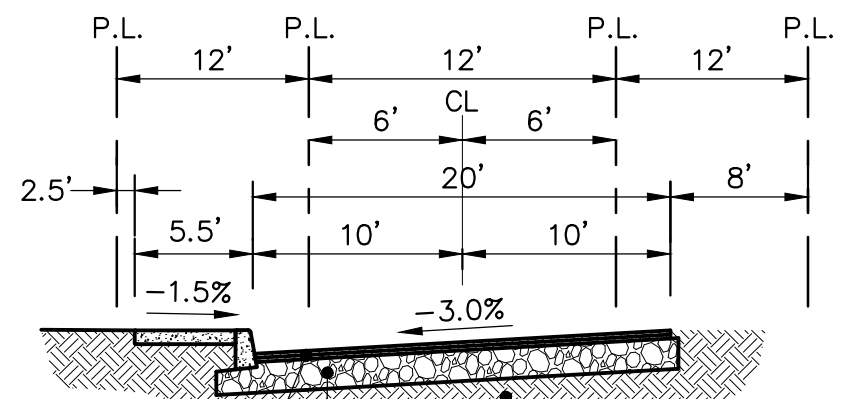
TYPICAL LOCAL ROAD SECTION

EGGLESTON LANE
NTS



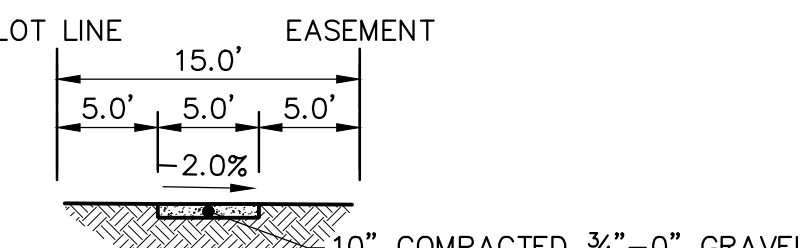
TYPICAL NEIGHBORHOOD COLLECTOR SECTION

SW J.P. WEST ROAD
NTS



TYPICAL SHARED DRIVEWAY SECTION

SHARED DRIVEWAY
NTS



TYPICAL PUBLIC PATHWAY SECTION

NTS

TYPICAL SECTIONS, HOSE PULL DETAIL,
& EASEMENT DETAIL

Designed by	Date	Drawn by	Date	Reviewed by	Date	Project No.	Horiz. Scale:	Vert. Scale:
MLS	5/2022	BDH	5/2022	MLS	5/2022	359-004		359004_05site.dwg

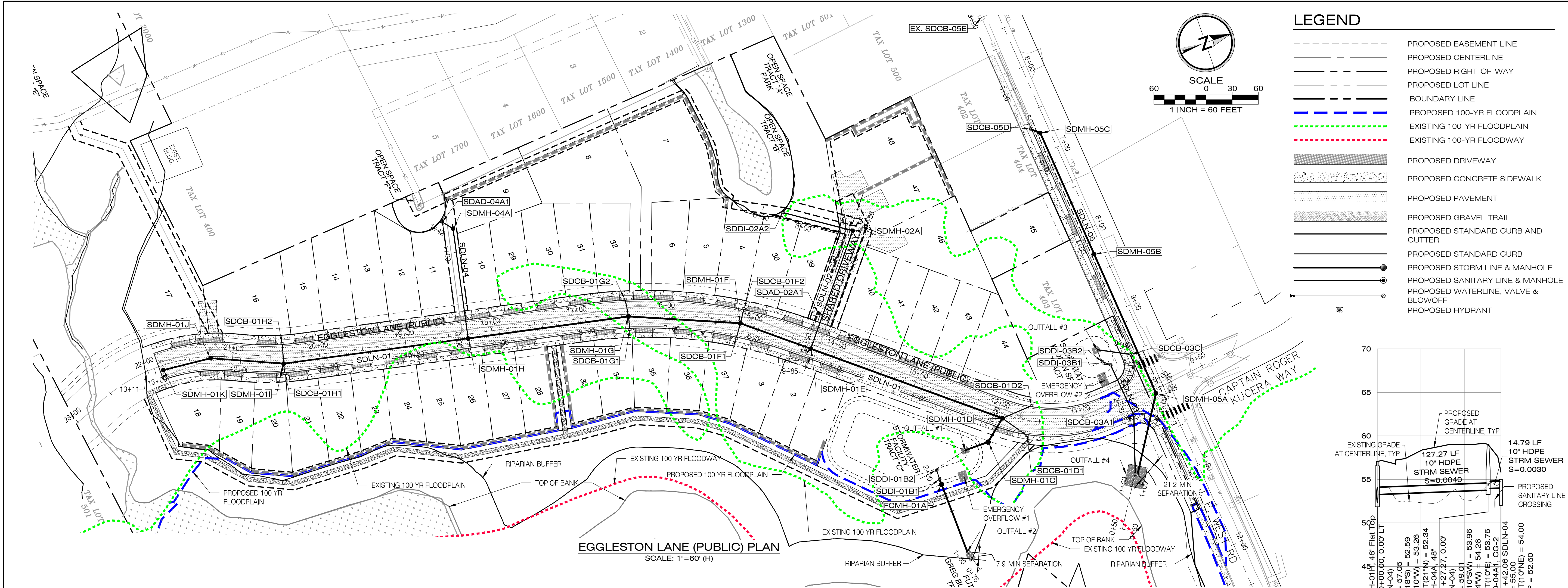
By	Revision	Date	No.

Project	BUXTON RANCH
No.	359-004
Type	PLANNING
Sheet	

PIONEER DESIGN GROUP
CIVIL ENGINEERING • LAND USE PLANNING • LAND SURVEYING • LANDSCAPE ARCHITECTURE
PORTLAND, OREGON | HONOLULU, HAWAII
PH: 503.643.8286 | WWW.PD-GRP.COM

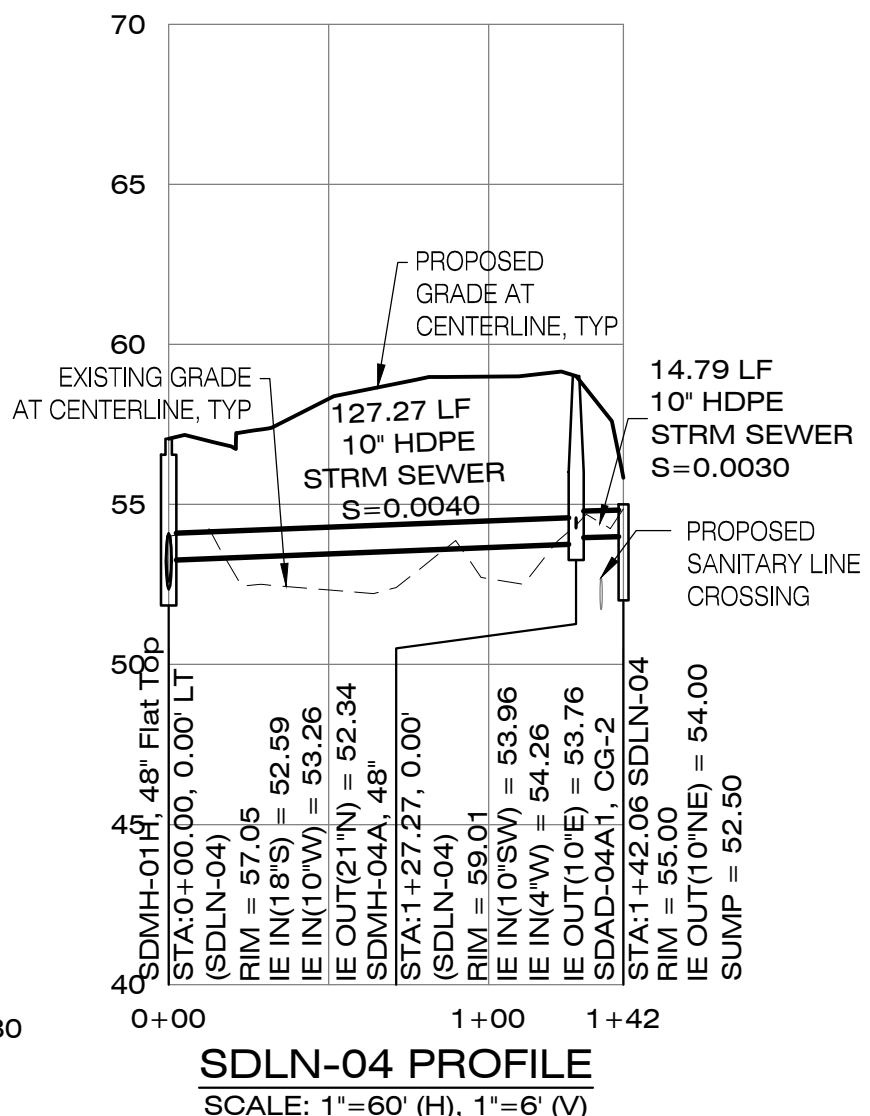
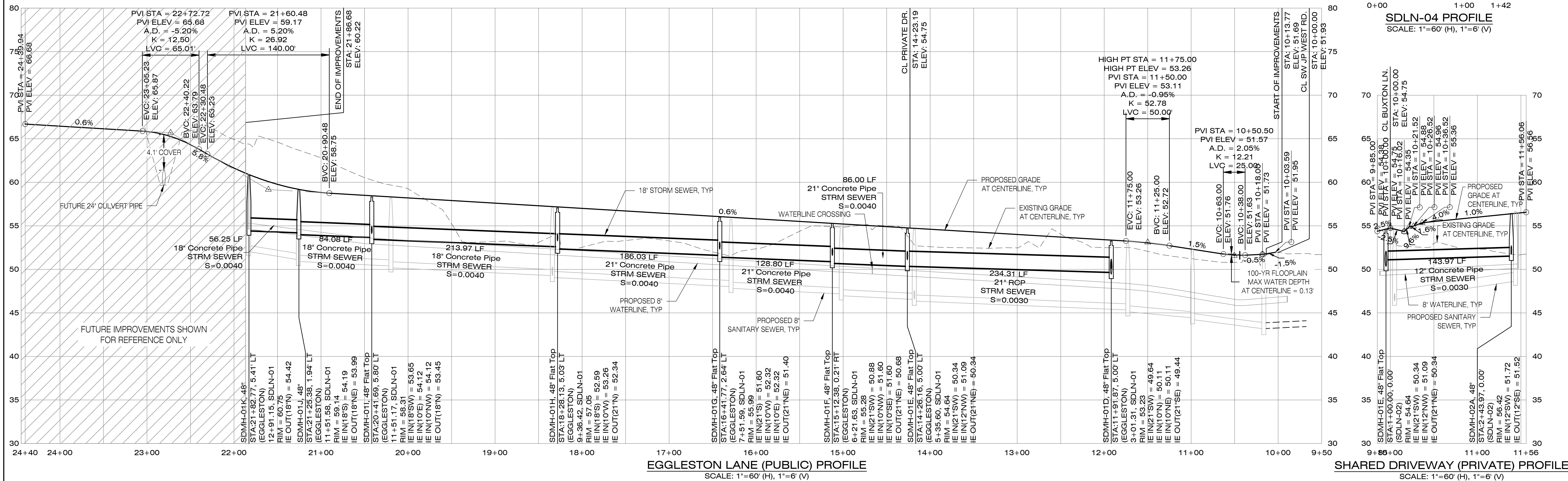


B:\Projects\359-004\Planning\359004_06stt-uti.dwg 8/8/2022 9:03:51 AM



LEGEND

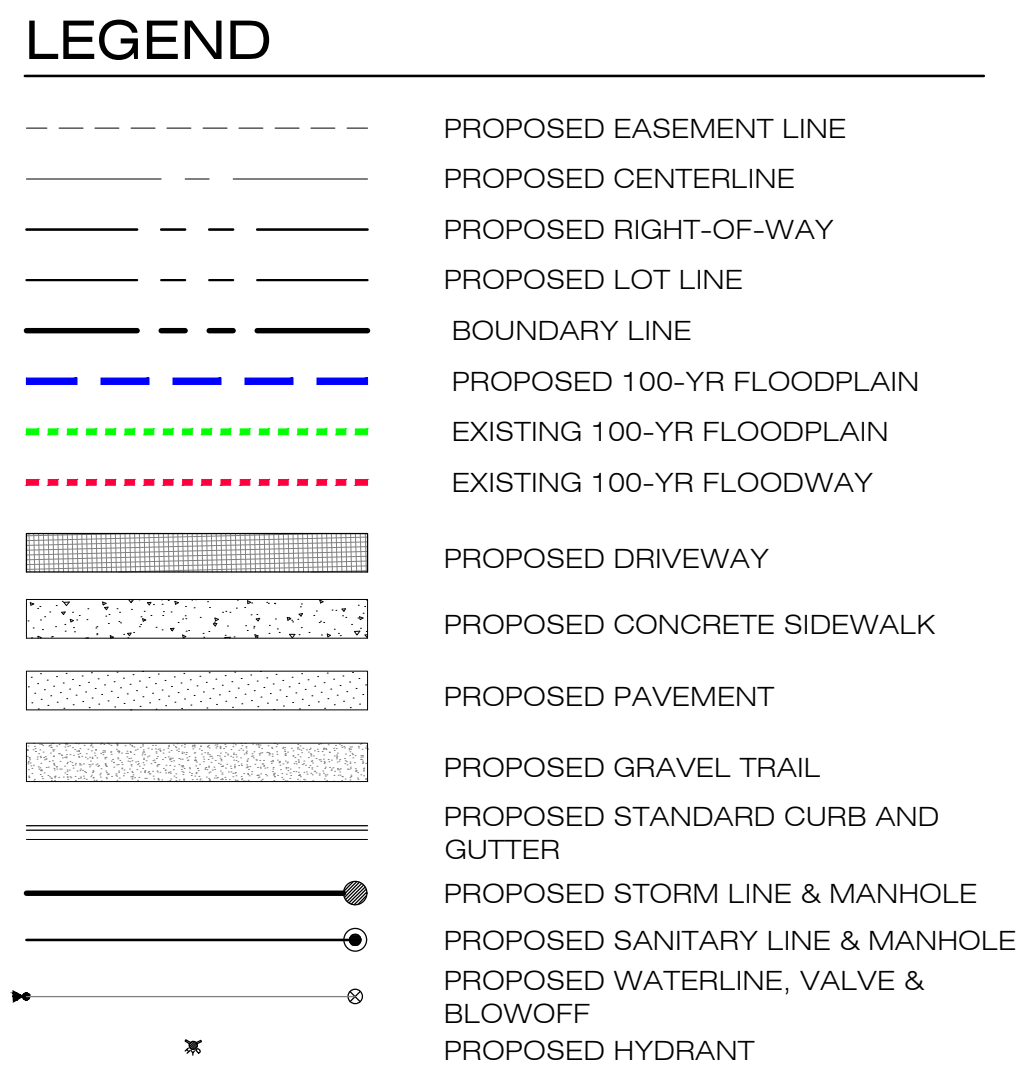
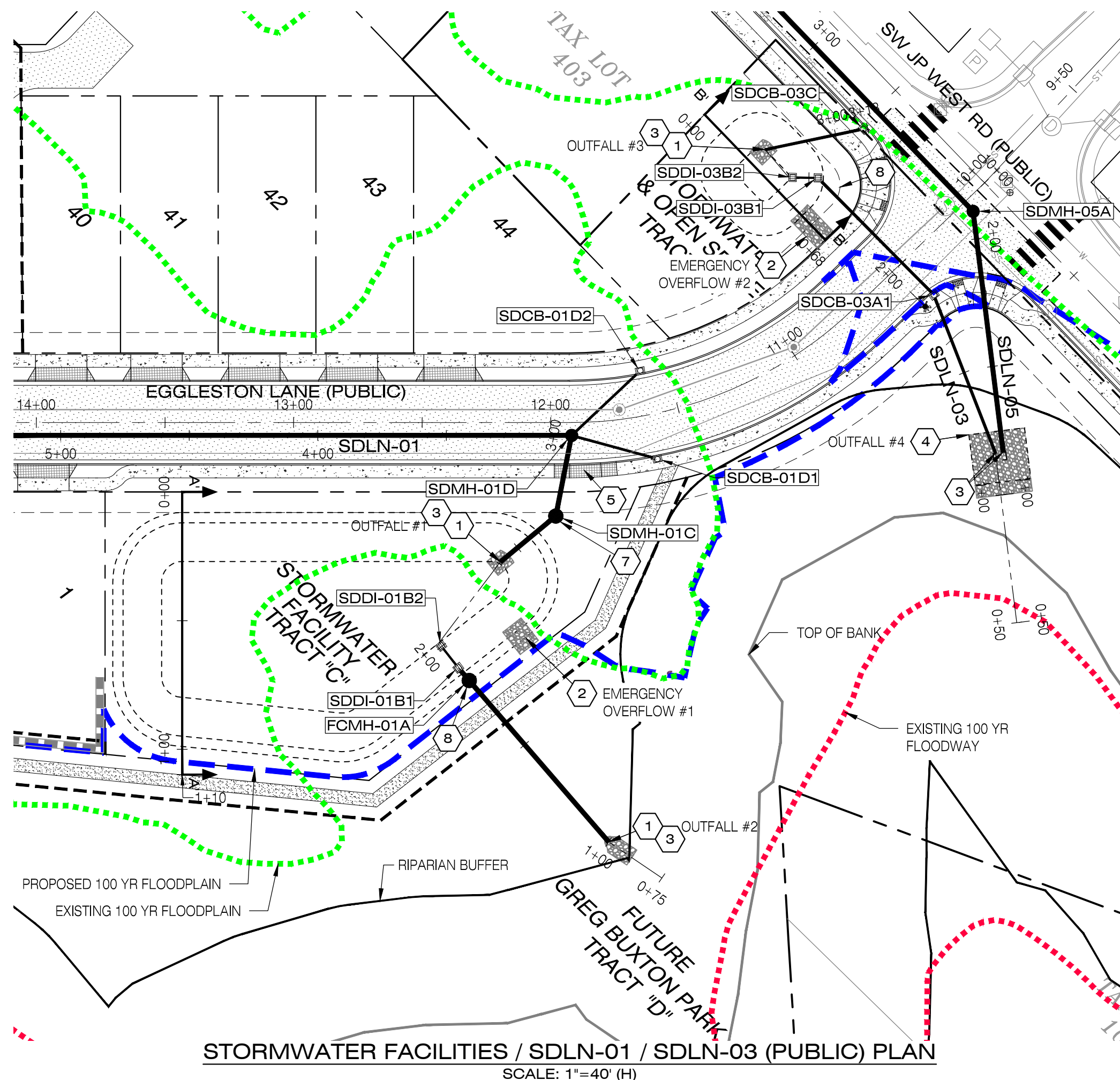
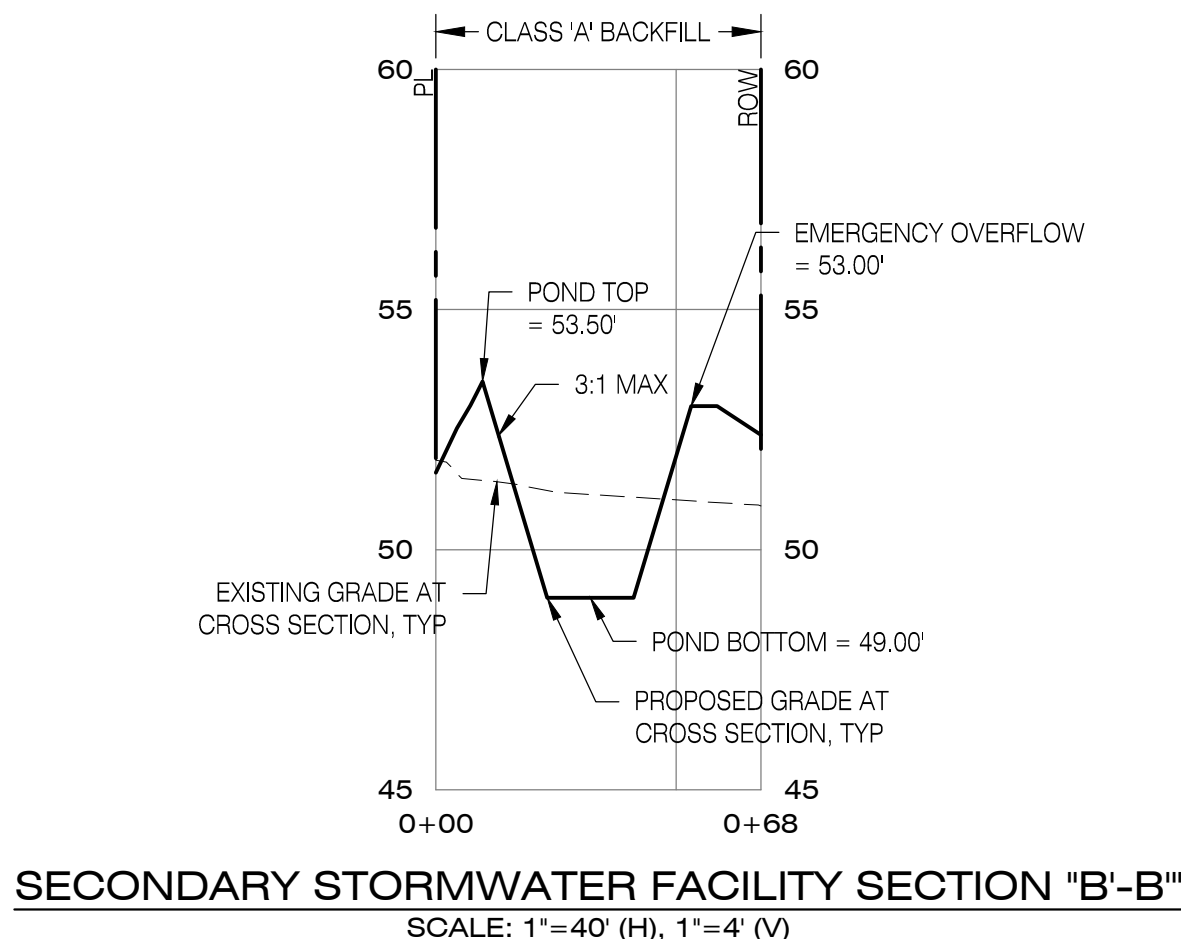
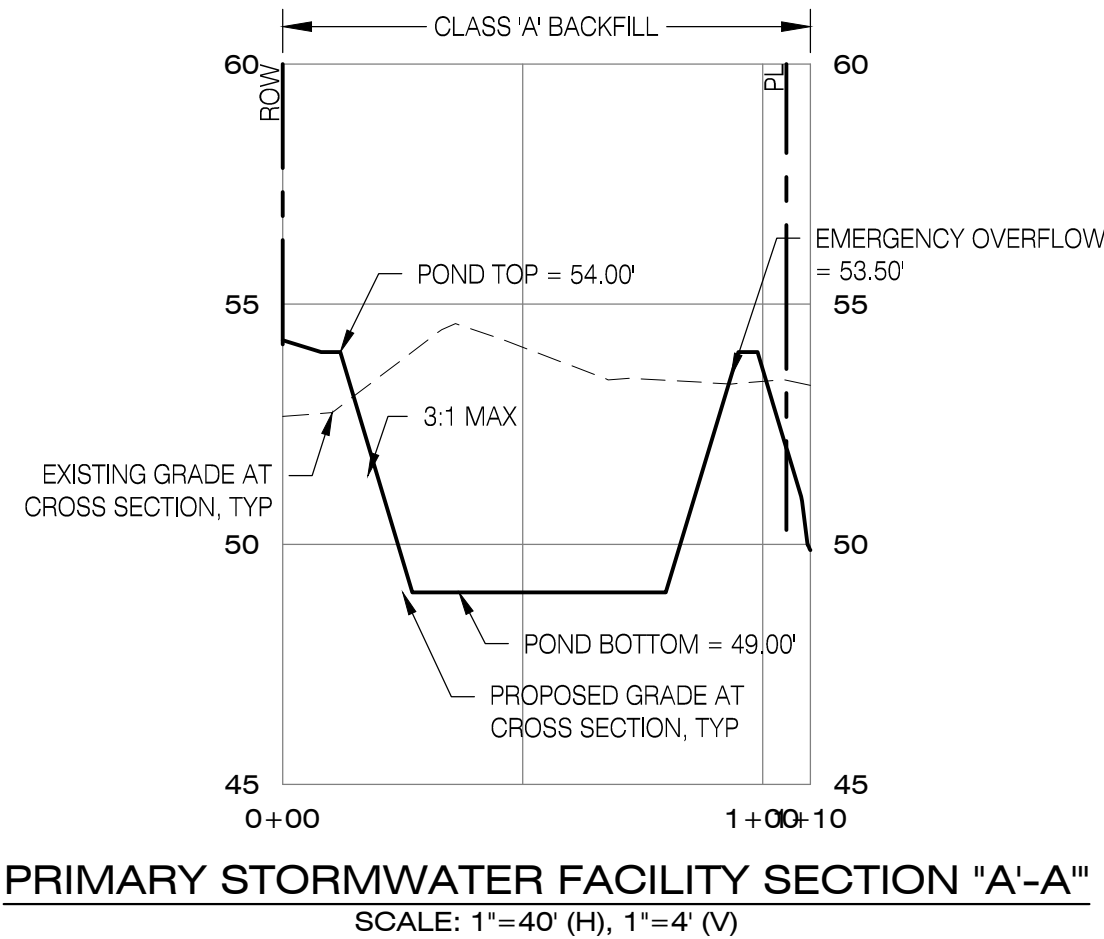
- PROPOSED EASEMENT LINE
- PROPOSED CENTERLINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- BOUNDARY LINE
- PROPOSED 100-YR FLOODPLAIN
- EXISTING 100-YR FLOODPLAIN
- EXISTING 100-YR FLOODWAY
- PROPOSED DRIVEWAY
- PROPOSED CONCRETE SIDEWALK
- PROPOSED PAVEMENT
- PROPOSED GRAVEL TRAIL
- PROPOSED STANDARD CURB AND GUTTER
- PROPOSED STANDARD CURB
- PROPOSED STORM LINE & MANHOLE
- PROPOSED SANITARY LINE & MANHOLE
- PROPOSED WATERLINE, VALVE & BLOWOFF
- PROPOSED HYDRANT



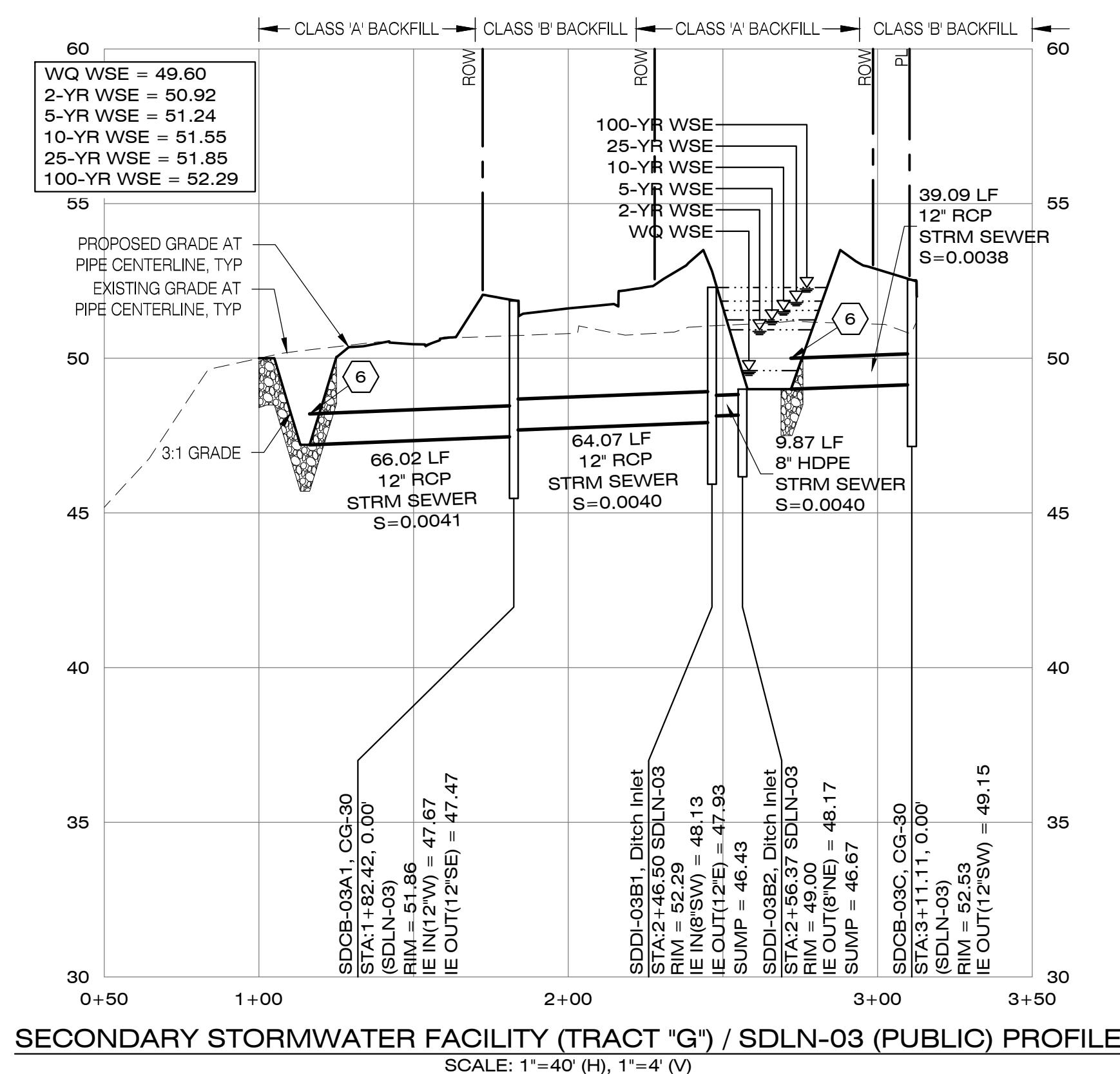
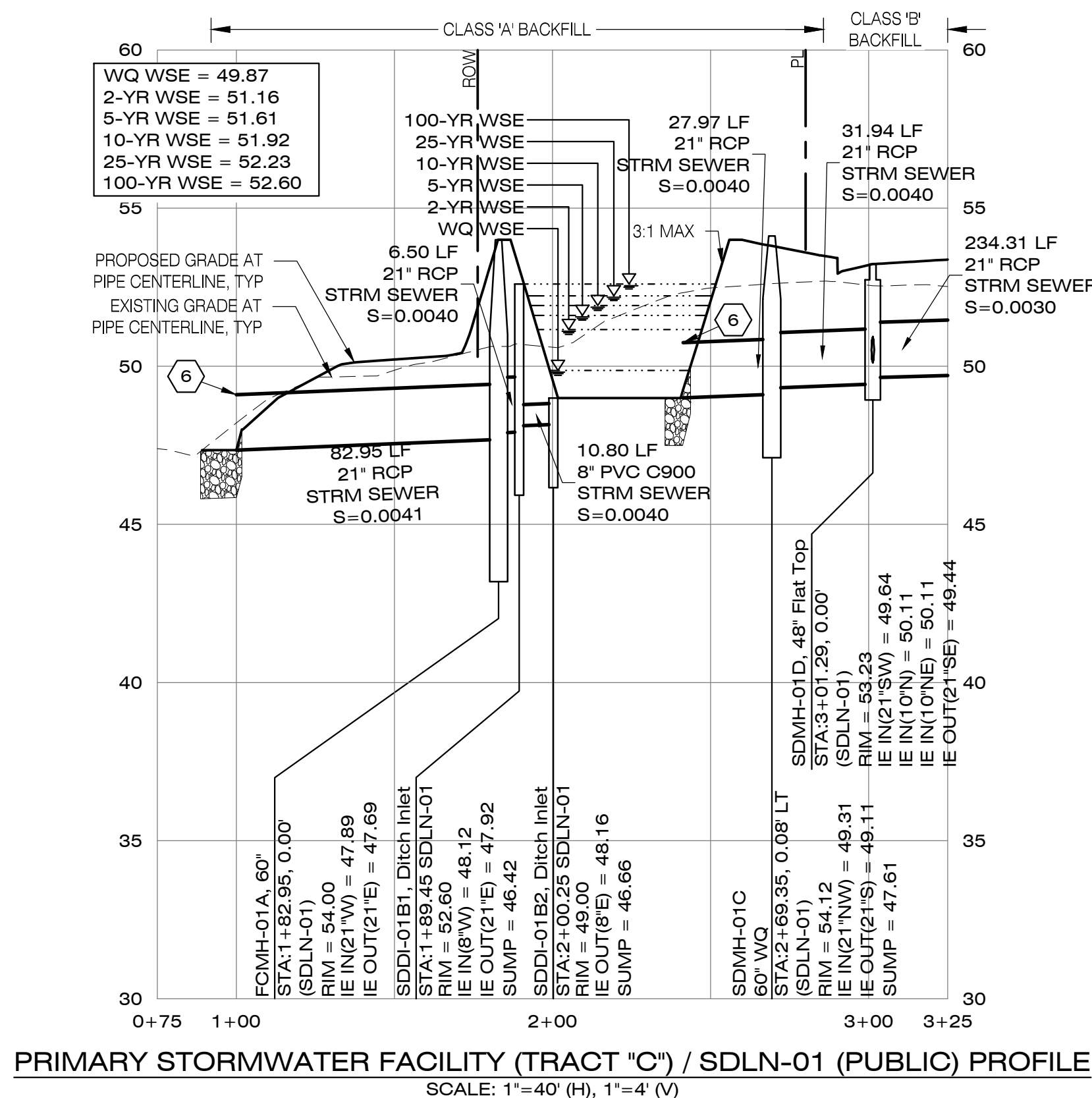
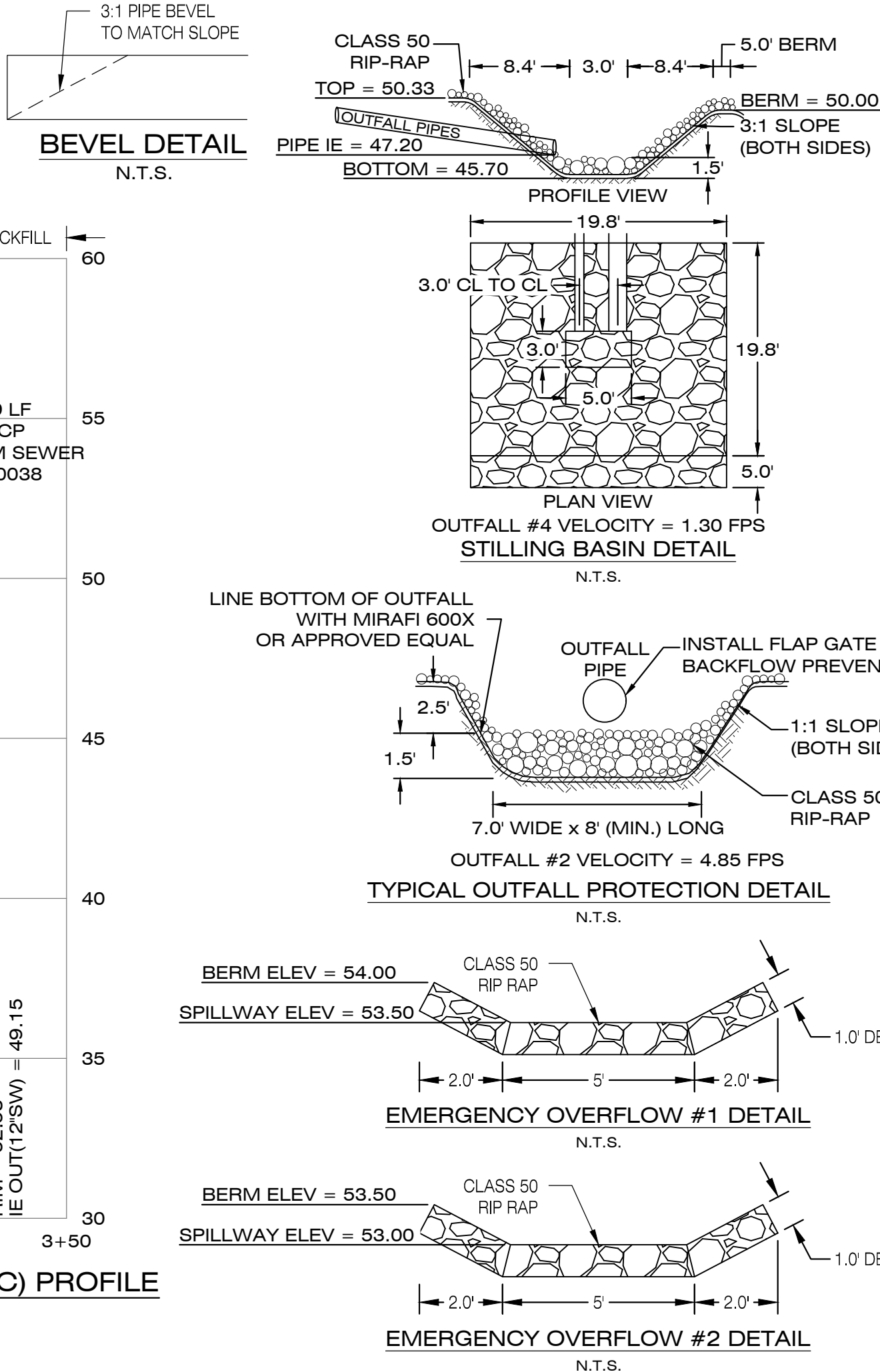
PRELIMINARY STREET AND STORM PLAN AND PROFILE - EGGLESTON

Designed by	Date	By	Revision	No.	Date	Project
MLS	5/2022					BUXTON RANCH
Drawn by	Date			No.	Date	
BDH	5/2022					359-004
Reviewed by	Date			No.	Date	
MLS	5/2022					PLANNING
Project No.	Horiz. Scale	Vert. Scale				Sheet
359-004		359004_06stt-uti.dwg				6

B:\Projects\359-004\Planning\359004_09.wgpd.dwg 8/8/2022 9:04:21 AM



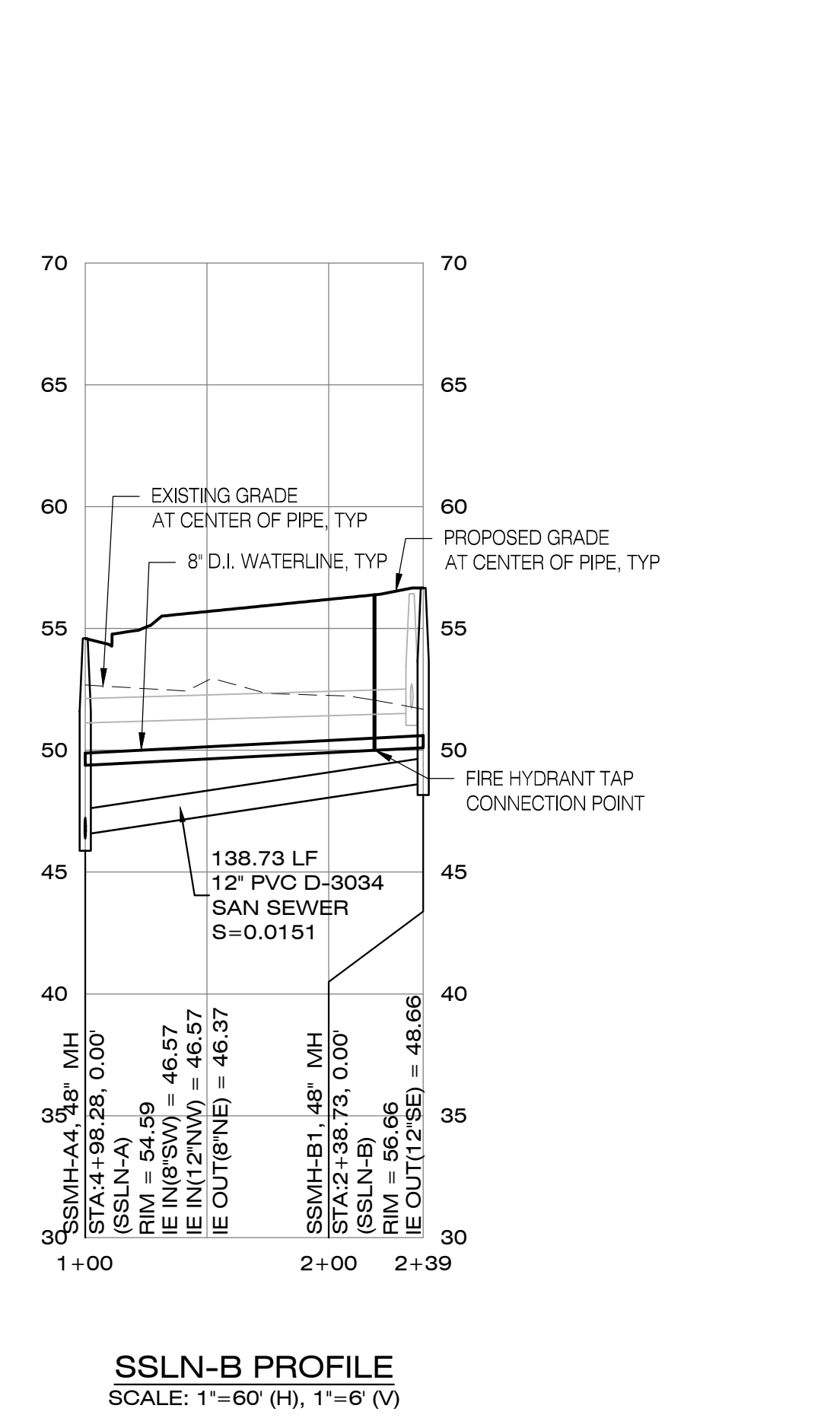
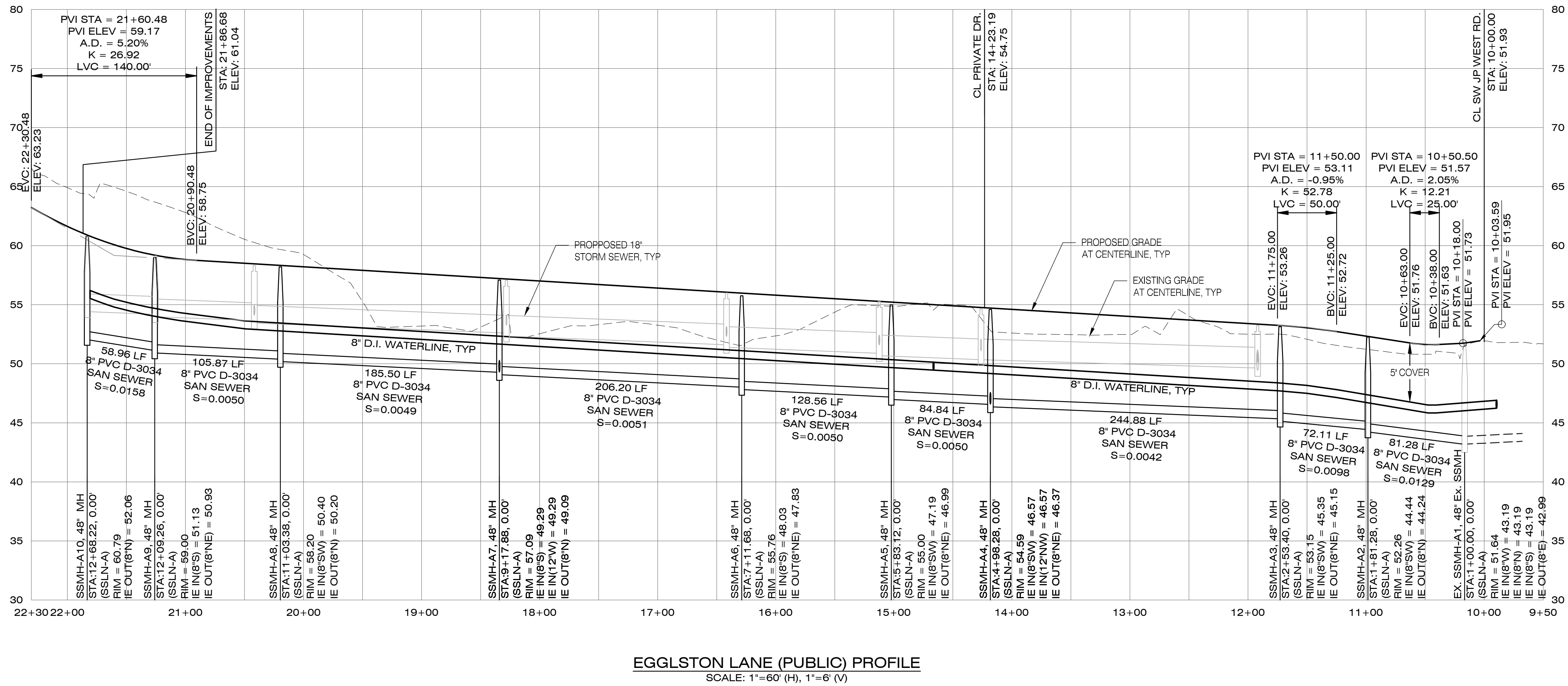
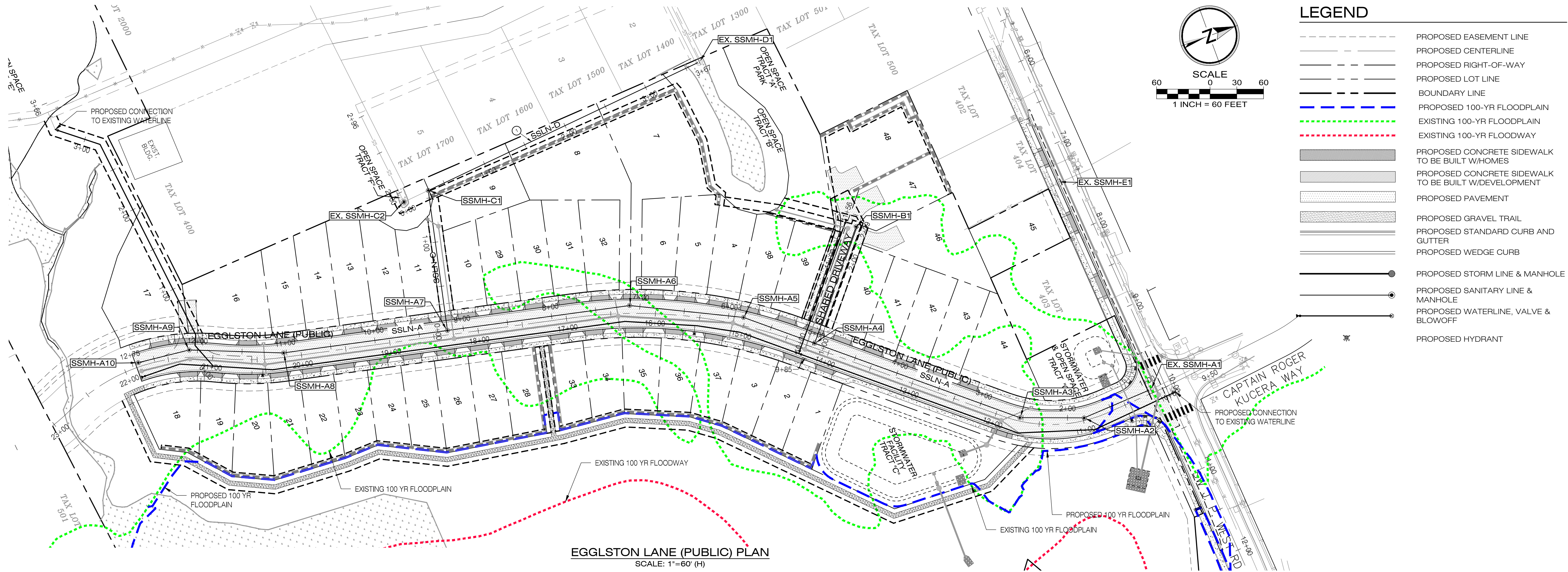
- STORM NOTES
- PROPOSED STORMWATER OUTFALL PROTECTION. SEE THIS SHEET FOR DETAILS.
 - PROPOSED EMERGENCY OVERFLOW SPILLWAY. SEE THIS SHEET FOR DETAILS.
 - INSTALL FLAP VALVE TO PREVENT BACKWATER OF FLOOD WATERS ENTERING THE FACILITY.
 - PROPOSED STILLING BASIN WITH RIP RAP BOTTOM FOR OUTFALL PROTECTION. SEE THIS SHEET FOR DETAILS.
 - PROPOSED COMMERCIAL APPROACH FOR FACILITY ACCESS.
 - BEVEL PIPE PER DETAIL THIS SHEET.
 - PROPOSED 60" WATER QUALITY MANHOLE.
 - PROPOSED 60" FLOW CONTROL MANHOLE. SEE STORM REPORT FOR DETAILS.



STORMWATER FACILITIES, SDLN-01,
SDLN-03 PLAN & PROFILE

Designed by	Date	Drawn by	Date	Reviewed by	Date	Project No.	Horiz. Scale	Vert. Scale
WLS	5/2022	BDH	5/2022	WLS	5/2022	359-004		359004_09.wgpd.dwg
By	Revision	Date	No.	Project	No.	Type	Sheet	
				BUXTON RANCH	359-004	PLANNING		

B:\Projects\359-004\Planning\359004_08srt-uti.dwg 8/8/2022 9:04:42 AM

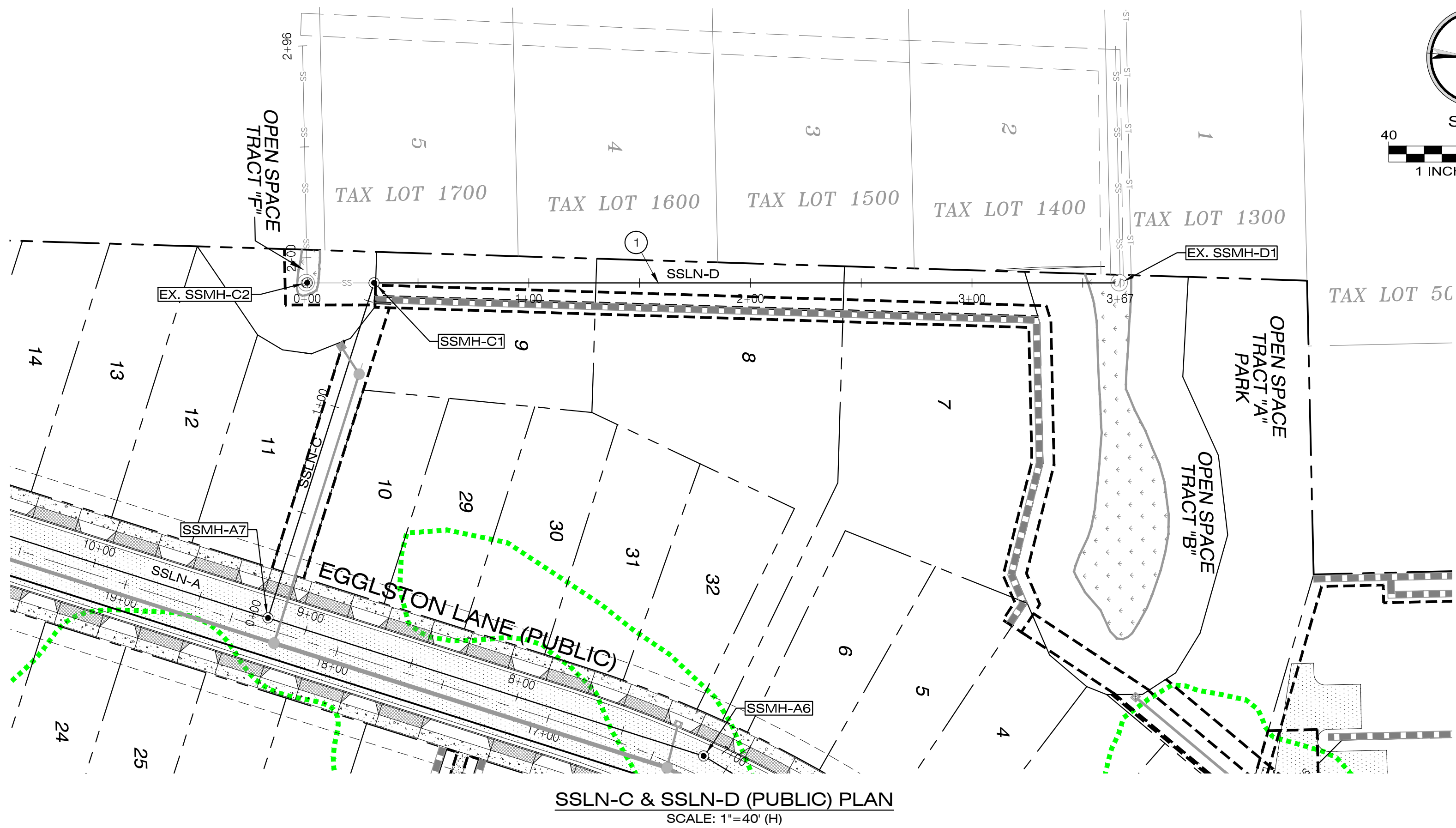


LEGEND

- PROPOSED EASEMENT LINE
- PROPOSED CENTERLINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- BOUNDARY LINE
- PROPOSED 100-YR FLOODPLAIN
- EXISTING 100-YR FLOODPLAIN
- EXISTING 100-YR FLOODWAY
- PROPOSED CONCRETE SIDEWALK TO BE BUILT W/HOMES
- PROPOSED CONCRETE SIDEWALK TO BE BUILT W/DEVELOPMENT
- PROPOSED PAVEMENT
- PROPOSED GRAVEL TRAIL
- PROPOSED STANDARD CURB AND GUTTER
- PROPOSED WEDGE CURB
- PROPOSED STORM LINE & MANHOLE
- PROPOSED SANITARY LINE & MANHOLE
- PROPOSED WATERLINE, VALVE & BLOWOFF
- PROPOSED HYDRANT

PRELIMINARY SANITARY & WATERLINE PLAN AND PROFILE

Designed by	Date	Reviewed by	Date	Project No.	Horiz. Scale:	Vert. Scale:
MLS	5/2022	BDH	5/2022	359-004	1"=60'	1"=6'
Drawn by	Date	Reviewed by	Date	Project No.	Horiz. Scale:	Vert. Scale:
BDH	5/2022	MLS	5/2022	359-004	1"=60'	1"=6'
By	Date	Revision	No.	Date	Project	No.
					BUXTON RANCH	359-004
					PLANNING	
					Sheet	

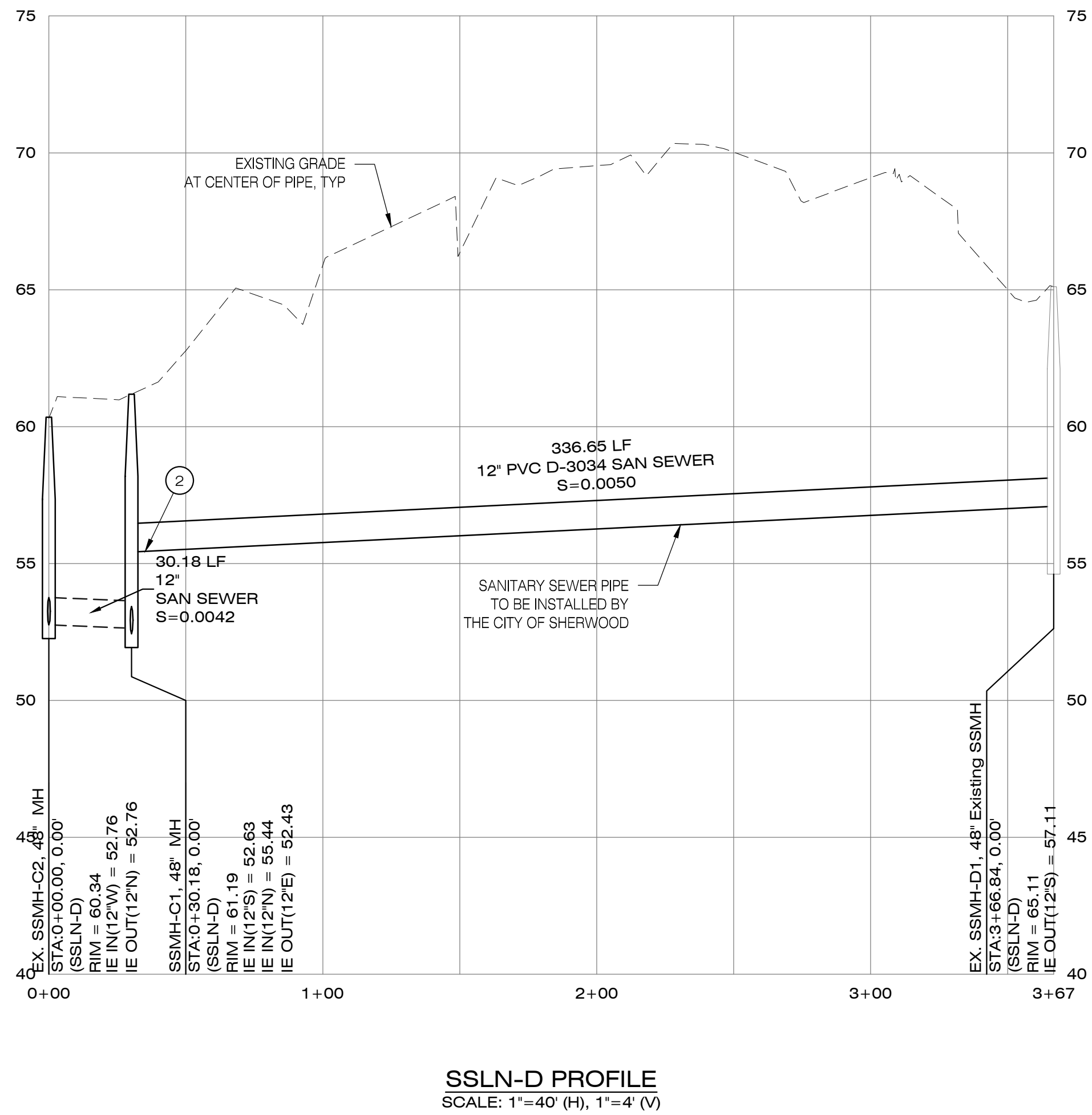
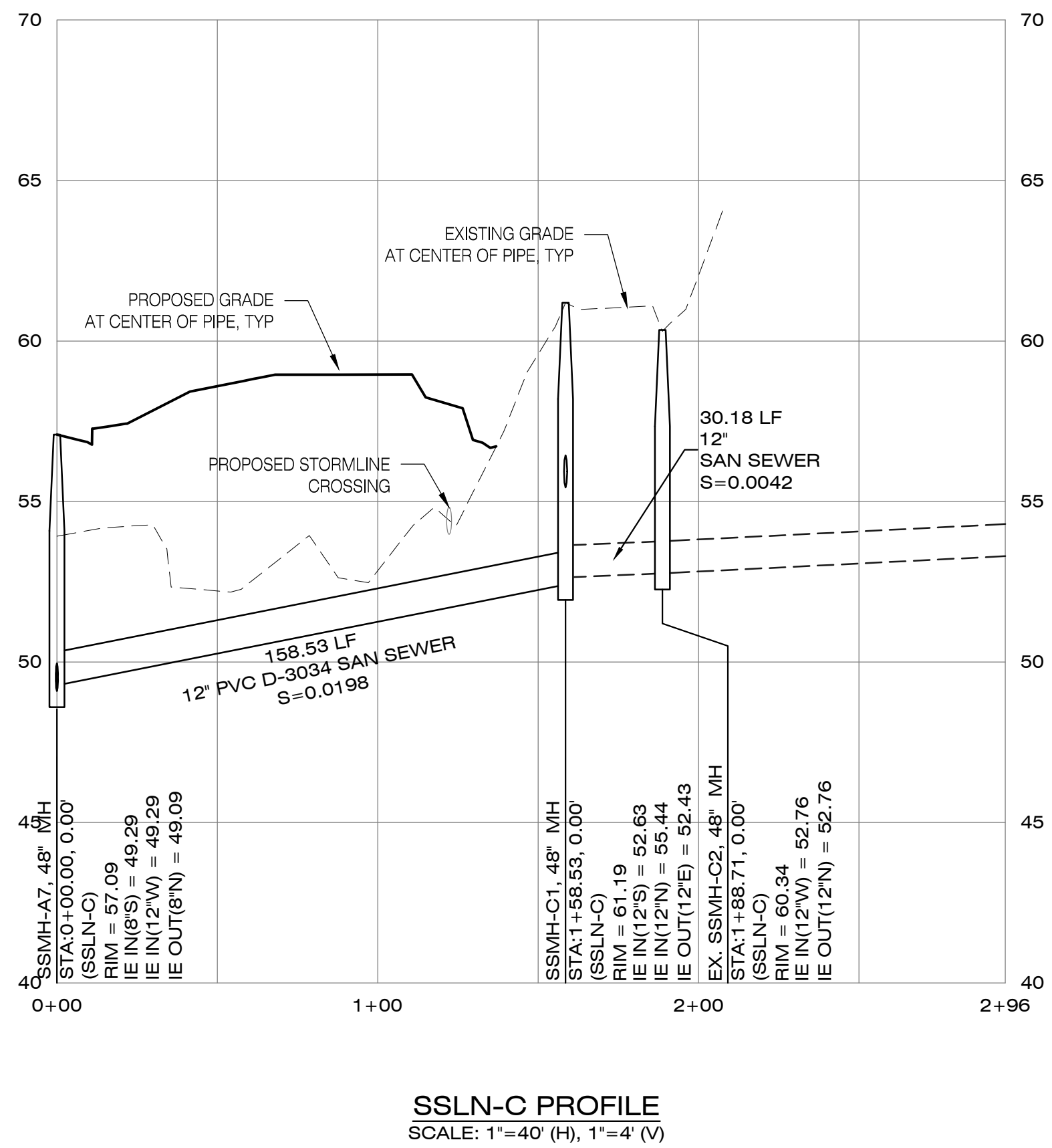


LEGEND

- PROPOSED EASEMENT LINE
- PROPOSED CENTERLINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- BOUNDARY LINE
- PROPOSED 100-YR FLOODPLAIN
- EXISTING 100-YR FLOODPLAIN
- EXISTING 100-YR FLOODWAY
- PROPOSED CONCRETE SIDEWALK TO BE BUILT W/HOMES
- PROPOSED CONCRETE SIDEWALK TO BE BUILT W/DEVELOPMENT
- PROPOSED PAVEMENT
- PROPOSED GRAVEL TRAIL
- PROPOSED STANDARD CURB AND GUTTER
- PROPOSED WEDGE CURB
- PROPOSED STORM LINE & MANHOLE
- PROPOSED SANITARY LINE & MANHOLE
- PROPOSED WATERLINE, VALVE & BLOWOFF
- PROPOSED HYDRANT

SANITARY SEWER NOTES

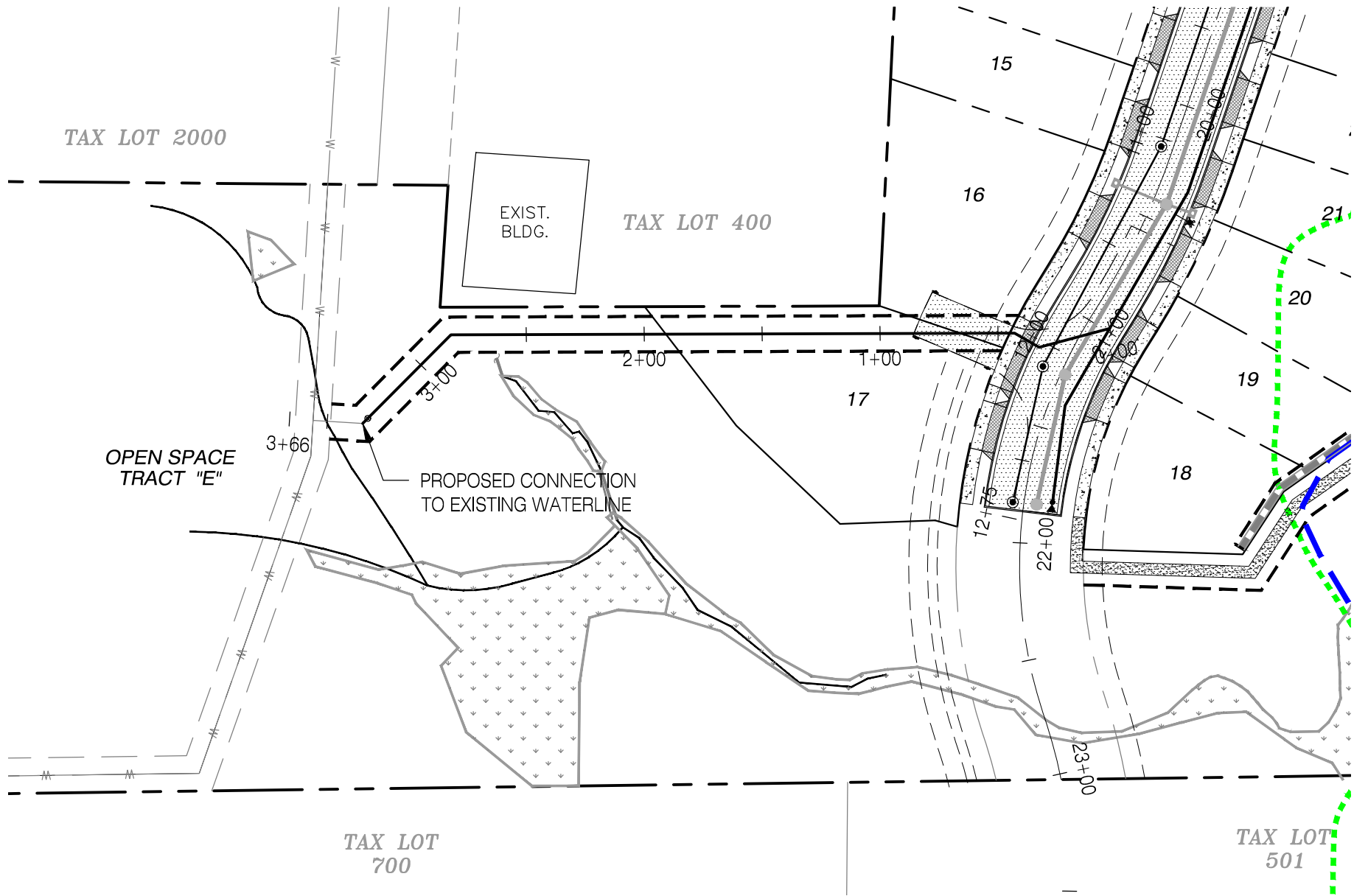
- ABANDON EXISTING SANITARY SEWER. CITY AND DEVELOPER TO COORDINATE AN AGREEMENT FOR REPLACEMENT. IT IS RECOMMENDED TO REPLACE THE LINE PRIOR TO SOIL GRADING.
- INSIDE DROP TO BE PROVIDED IN MANHOLE PER CWS DETAIL 090.



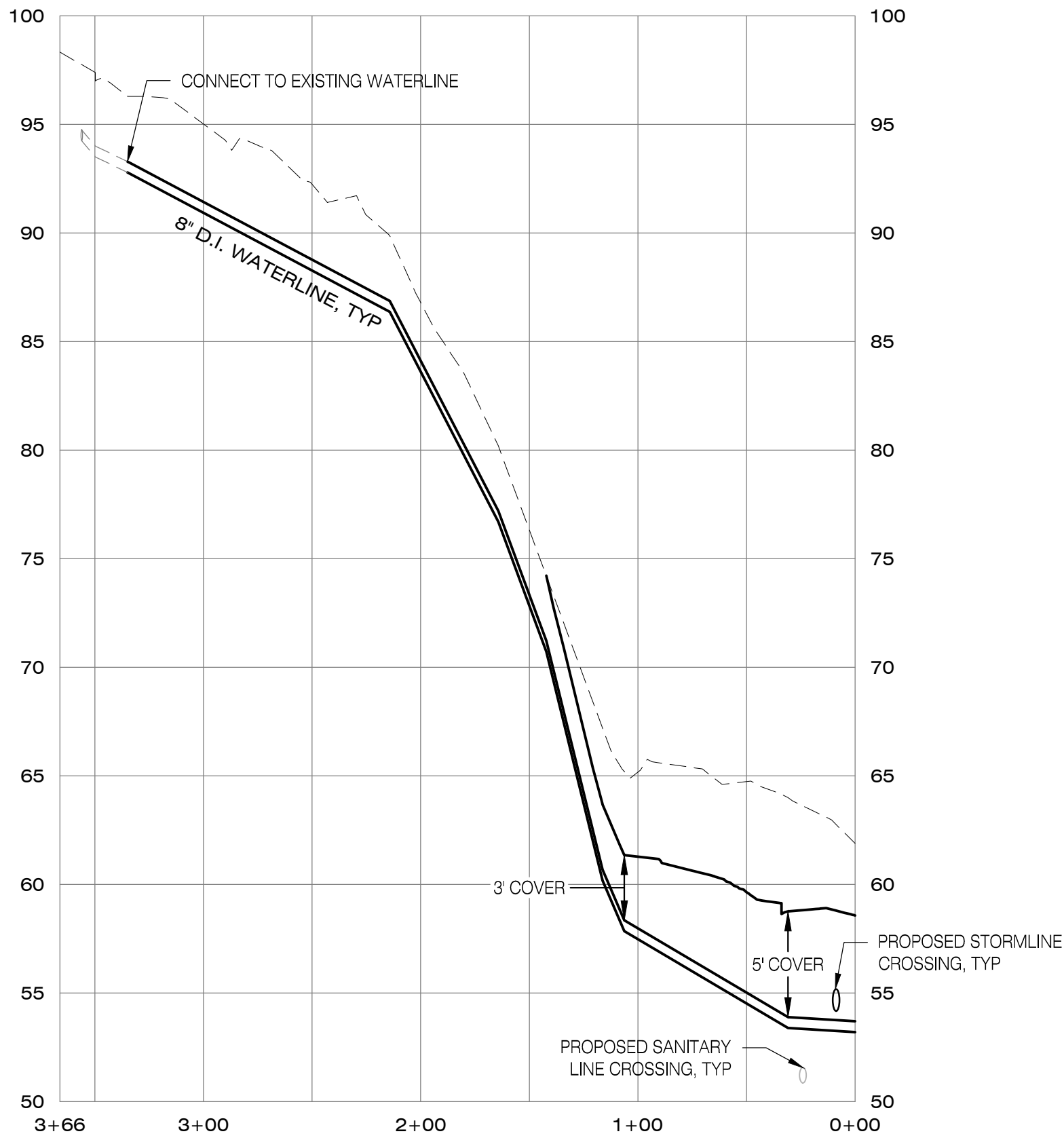
PRELIMINARY SANITARY PLAN AND PROFILE

Designed by	Date	By	No.	Date	Revision	Project No.	Type	Sheet
MLS	5/2022					359-004	PLANNING	
BDH	5/2022							
MLS	5/2022							
Project No.	359-004							
Horiz. Scale:								
Vert. Scale:								

B:\Projects\359-004\Planning\359004_08srtt-uti.dwg 8/9/2022 11:28:16 AM



WATERLINE (PUBLIC) PLAN
SCALE: 1"=60' (H)



WATERLINE PROFILE
SCALE: 1"=60' (H), 1"=6' (V)

LEGEND

- PROPOSED EASEMENT LINE
- PROPOSED CENTERLINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- BOUNDARY LINE
- PROPOSED 100-YR FLOODPLAIN
- EXISTING 100-YR FLOODPLAIN
- EXISTING 100-YR FLOODWAY
- PROPOSED CONCRETE SIDEWALK TO BE BUILT W/HOMES
- PROPOSED CONCRETE SIDEWALK TO BE BUILT W/DEVELOPMENT
- PROPOSED PAVEMENT
- PROPOSED GRAVEL TRAIL
- PROPOSED STANDARD CURB AND GUTTER
- PROPOSED WEDGE CURB
- PROPOSED STORM LINE & MANHOLE
- PROPOSED SANITARY LINE & MANHOLE
- PROPOSED WATERLINE, VALVE & BLOWOFF
- PROPOSED HYDRANT

WATERLINE NOTES

ALL DUCTILE IRON WATERLINE TO BE WRAPPED IN POLYETHYLENE PER TWWO REQUIREMENT. REFER TO WATER SYSTEM STANDARDS.

THE CONTRACTOR SHALL FIELD VERIFY THE SIZE, LOCATION, AND DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

PRELIMINARY WATERLINE PLAN & PROFILE

Buxton Ranch
Scappoose, Oregon

Designed by	MLS	Date	5/2022
Drawn by	BDH	Date	5/2022
Reviewed by	MLS	Date	5/2022
Project No.	359-004	REF.	
Horiz. Scale:			
Vert. Scale:			

By	
Revision	
Date	
No.	

Project	BUXTON RANCH
No.	359-004
Type	PLANNING
Sheet	

B:\Projects\359-004\Planning\359004_010circ.dwg 8/9/2022 11:28:35 AM



PIONEER DESIGN GROUP
CIVIL ENGINEERING • LAND USE PLANNING • LAND SURVEYING • LANDSCAPE ARCHITECTURE
PORTLAND, OREGON | HONOLULU, HAWAII
PH: 503.643.8286 | WWW.PD-GRP.COM

VALID THROUGH 12-31-23

CIRCULATION PLAN

Buxton Ranch
Scappoose, Oregon

Designed by	MLS	Date	5/2022
Drawn by	BDH	Date	5/2022
Reviewed by	MLS	Date	5/2022
Project No.	359-004	REF.	
Horiz. Scale:			
Vert. Scale:			

359004_010circ.dwg

By

Revision

Date

No.

Project

BUXTON RANCH

No.

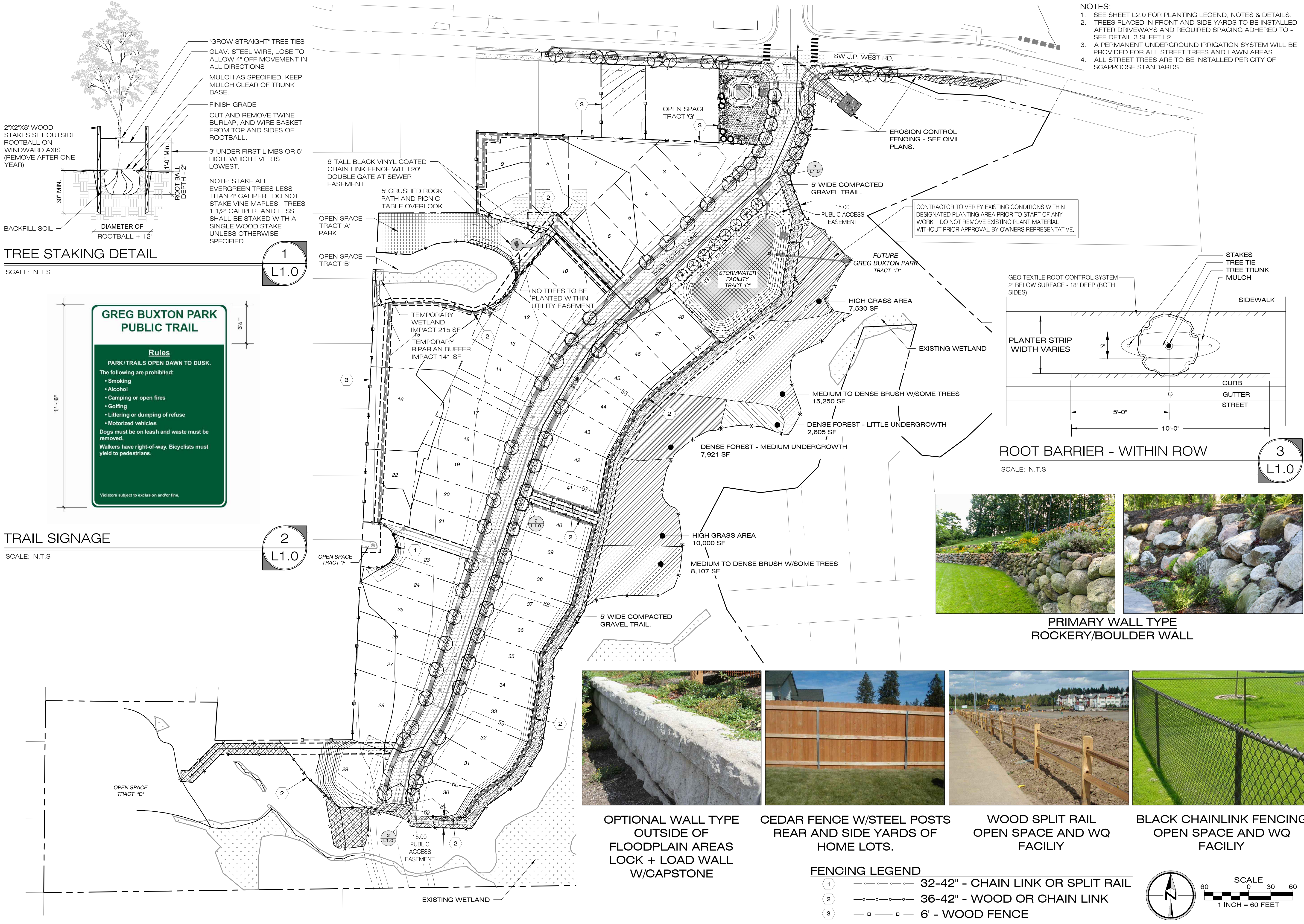
359-004

Type

PLANNING

Sheet

B:\Projects\359-004\Landscaping\Planning\359004 PLANTING(L1.0).dwg 8/8/2022 9:47:58 AM



PIONEER DESIGN GROUP
CIVIL ENGINEERING • LAND USE PLANNING • LAND SURVEYING • LANDSCAPE ARCHITECTURE
PORTLAND, OREGON | HONOLULU, HAWAII
PH: 503.843.8286 | WWW.PD-GRP.COM

REGISTERED PROFESSIONAL ENGINEER
OREGON
LANDSCAPE ARCHITECTURE
VALID THROUGH 08/31/2022

PLANTING PLAN, DETAILS & NOTES

Buxton Ranch
Scappoose, Oregon

Designed by	Date	Drawn by	Date	Reviewed by	Date	Project No.	Horiz. Scale	Vert. Scale
MLS	12/2019	BDH	12/2019	MLS	12/2019	359-004		

By: _____
Revision: _____
Date: _____
No: _____

Project: BUXTON RANCH
No: 359-004
Type: PLANNING
Sheet: **L1.0**

